



Board of Commissioners
Doug Barnes, *Chair*
Susan Palmer, *Vice-Chair*
John Welch
TerryLynn Stewart
Regina Elmi

Executive Director/CEO
Robin Walls

INVITATION TO BID

Fire Restoration

at

Villages at South Station 3714 South 154th Lane, Tukwila, WA 98188

March 17, 2023

ADDENDUM NO. 1

This addendum is used to clarify, change, delete, add to or substitute items in the original contract documents.

BID DATE: Thursday, April 13, 2023 at 2:00 pm

QUESTIONS DEADLINE: 9:00 am on Thursday, April 6, 2023

NUMBER OF PAGES: 3

ATTACHMENTS: 10 PAGES

CONTRACT NUMBER: DW2302331

NOTICE TO BIDDERS Bidders are hereby notified of the following changes and/or clarifications to the Contract Documents for this project:

Questions:

Question #1 – Does this project include Washington State Sales Tax?

Answer: Not on the gross contract amount. See GENERAL CONDITIONS PART 4.1 CONTRACT SUM.

Question #2 – Is this a prevailing wage project?

Answer: Yes, residential rates. See GENERAL CONDITIONS PART 4.1 CONTRACT SUM.

Question #3 – Is the contractor responsible for getting permits?

Answer: Yes. Including all required building and MEP permits. See Specifications 1.5 PERMITS

Contractor is responsible for obtaining and paying for all permits and for the coordination of all required inspections. Contractor shall be reimbursed the face value of the permit fee plus overhead and profit as indicated in the specifications.

Question #4 – Do you have specifications for the cabinets and is the bar countertop to be replaced?

Answer: Cabinet manufacturer is Aristokraft, style is Sinclair from Home Depot. The bar top is to be replaced along with the other countertops so all tops match. Countertop to be Topline Counters “Maui Quartz” solid surface. Provide layout sketch and cabinet submittal prior to ordering for approval by owner. See attached Cabinet Details, Cabinet Finishes and Cabinet Plans for additional information

Question #5 – What is the scope of work for electrical systems? Do all the electrical outlets and switches have to be replaced? Are there ceiling fixtures in the bedrooms? What is the scope of work for baseboard heaters? What is the requirement for the bath fan, is this to be replaced? Are the pendants over the bar in the kitchen to be replaced?

Answer:

1. All the outlets and switches throughout are to be replaced with new. See Materials List in bid documents for details. Note: There are no ceiling fixtures in the bedrooms or living room, there are only switched outlets.
2. There should be a ceiling light fixture installed in the master closet that is switched at the outside of the closet. This wiring was removed as part of the fire mitigation. All ceiling mounted light fixtures should be Hampton Bay Flaxmere 12 inch brushed nickel dimmable LED flush mount ceiling fixture with frosted white glass shade from Home Depot, switched with dimmers. The bathroom vanity light should be Woodbury 24.5 inch brushed nickel linear LED vanity Light Bar from Home Depot switched with standard 2 pole switch.
3. The bathroom fan and duct run is to be replaced. Install Panasonic Whisper Green Fan/Light FV-0511VKSL2 50-80-110CFM. Include Panasonic FV-CSVK1 Plug and play Condensation Sensor Module and Panasonic FV-FV-MSVK1 Auto Motion Sensor with 20 minute timer. Duct to be 4” diameter insulated rigid vent pipe connected to existing wall hood.
4. All of the baseboard heaters are to be replaced with Cadet style forced air wall heaters, locations to be verified by owner. Install King PAW Pick A Watt model 2422-W 240/208. Set for 208 volts and adjust output for 10 watts per square foot of room size to be heated. Final settings to be approved by owner. Include wall mounted 2-pole thermostat K101/102 “Basic Comfort”. All necessary GWB removal and replacement to be included.
5. The pendant lights over the bar are to be replaced with flush mount fixtures. See note above for fixture details.

Question #6 – What is the scope of work for flooring? Does it include removing thresholds, baseboard, tack strips, etc.?

Answer: New luxury vinyl plank flooring is to be installed throughout the unit. Existing sheet vinyl, baseboard, transitions, tack strips are to be removed. Any voids or cracks wider than 1/8” are to be filled and leveled according to luxury vinyl plank floor manufacturer requirements for a full warranty coverage. Include 4” vinyl covebase from Tarkett throughout.

<p>VINYL PLANK FLOORING A. Listed Manufacturer and Product: Kentwood Floors, Evoke Luxury Vinyl - “Serena” Stick 3mm. C. Performance Characteristics: 1. Wear Layer: 30 mil. 2. Plank Size: 7” wide x 48” long x 1/8” thick. 3. Finish: High performance polyurethane. 4. Installation: Full spread adhesive. 5. FloorScore Certified. 6. Warranty: Manufacturer’s 20-year commercial. 7. Pattern/Style: Bamboo.</p>		
<p>Covebase is 4" white throughout all rooms</p>		<p>Brand is Tarkett</p>

#6 – Which windows are to be replaced?

Answer: The master bedroom window is to be replaced, including interior and exterior trim and finishes. Install Plygem window to match other windows in the unit. Submit window details prior to ordering for approval by owner. All windows require new screens.

#7 – Do any walls or ceilings require additional removal and replacement of GWB, or floating to cover smoke damage?

Answer: It is assumed that no additional GWB will need to be removed and replaced except as needed to complete the work. All remaining walls and ceilings and wood framing areas are to be cleaned, primed and painted as listed in the Scope Based Estimate in bid documents. A second layer of 5/8” fire rated GWB is to be installed over the party wall at the back of the master bedroom and closet.

#8 – How is the hole in the back wall of the entry closet to be patched?

Answer: There is a small opening in the back wall of the entry closet where a frost proof hose bib was previously replaced. This opening is to be closed with a standard metal access door for future service access. Submit a proposed access door prior to ordering for approval by owner.

#9 – Is there an asbestos inspection report available?

Answer: See attached: Villages at South Station Bld 6 Unit #42 Limited Sampling.

#10 – Is the fireplace hearth and mantel to be replaced?

Answer: The Scope Based Estimate includes direction to clean the fireplace hearth and mantel. There is a corner piece that has detached and this is to be reinstalled and grouted.

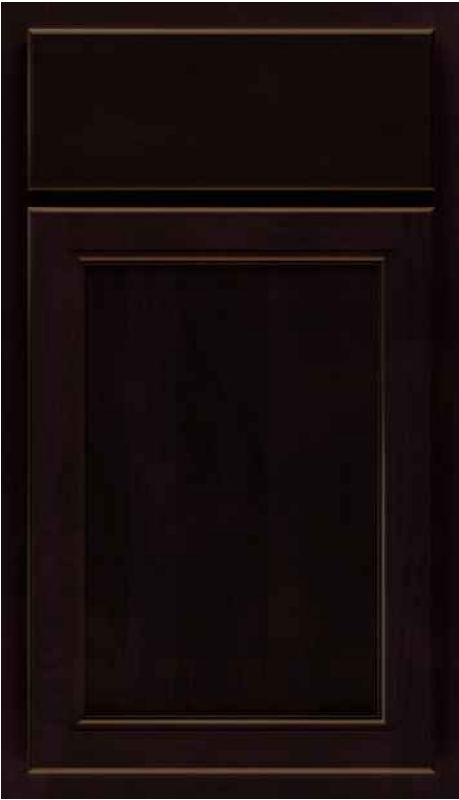
All other provisions of the Contract Documents remain unchanged.

Sinclair



Aristokraft®

Sinclair | Hardwood | Sarsaparilla



SINCLAIR HARDWOOD

- Partial overlay
- Flat center panel

Slab drawer front



Sarsaparilla



Flagstone



Umber



Café



Saddle



Burlap



Quill



Natural



Part of the
MasterBrand™
Family

Aristokraft®

Face frames made from select hardwood.

Supersedes all prior versions. Styles, product availability and construction may vary slightly from those shown due to material availability and/or design evolution. Specifications are subject to change without notice. For more details see www.aristokraft.com or check with your designer.

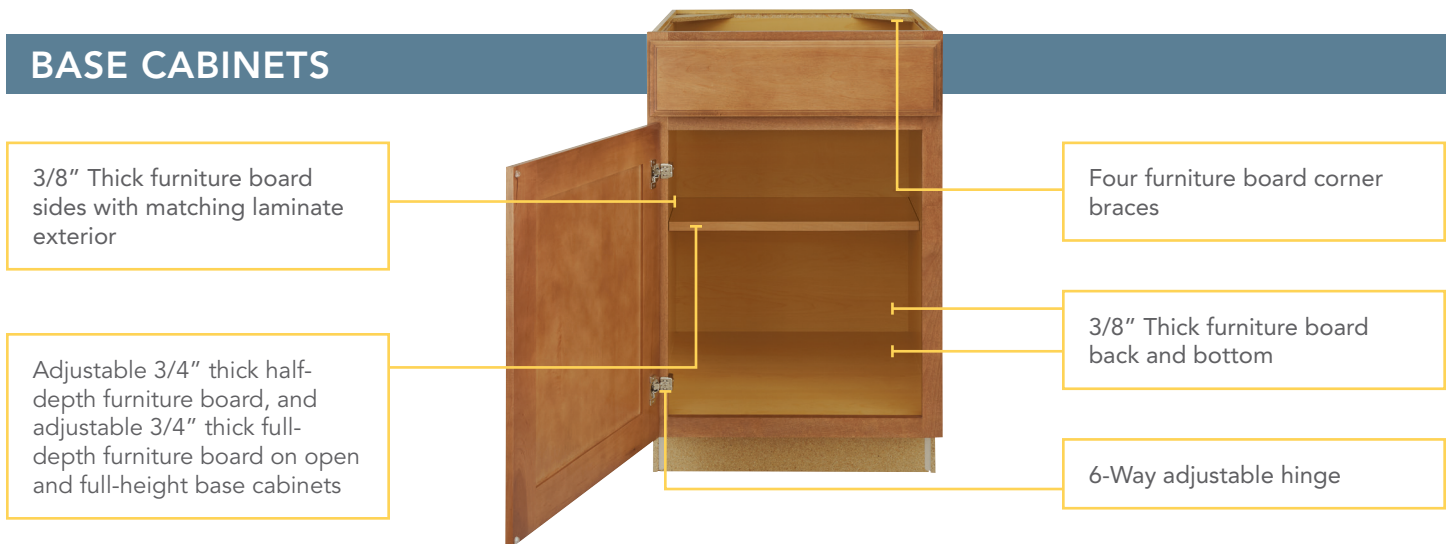
Product photography and illustration have been reproduced as accurately as printing technologies permit. To ensure highest satisfaction, we strongly recommend you view an actual sample for best color, wood grain and finish representation. © 2023 MasterBrand Cabinets, Inc.

STANDARD CONSTRUCTION

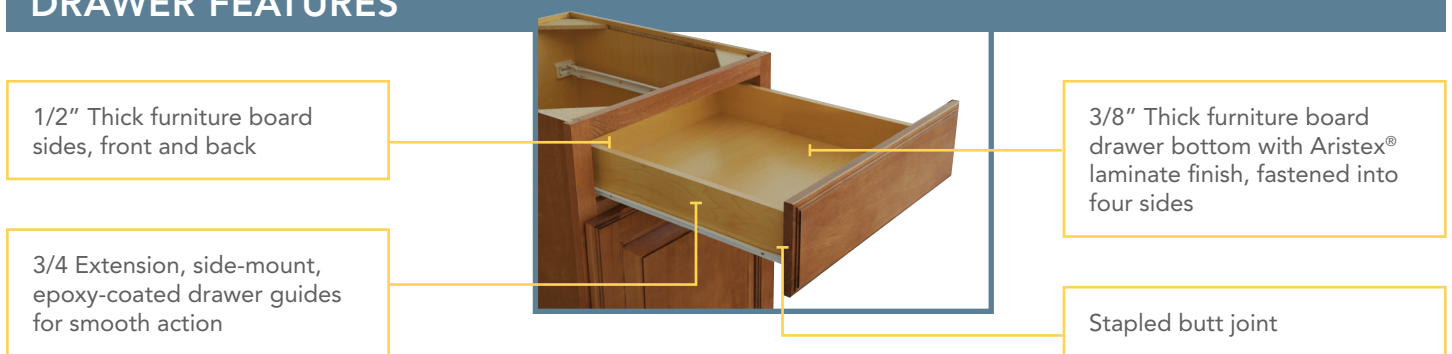
WALL CABINETS

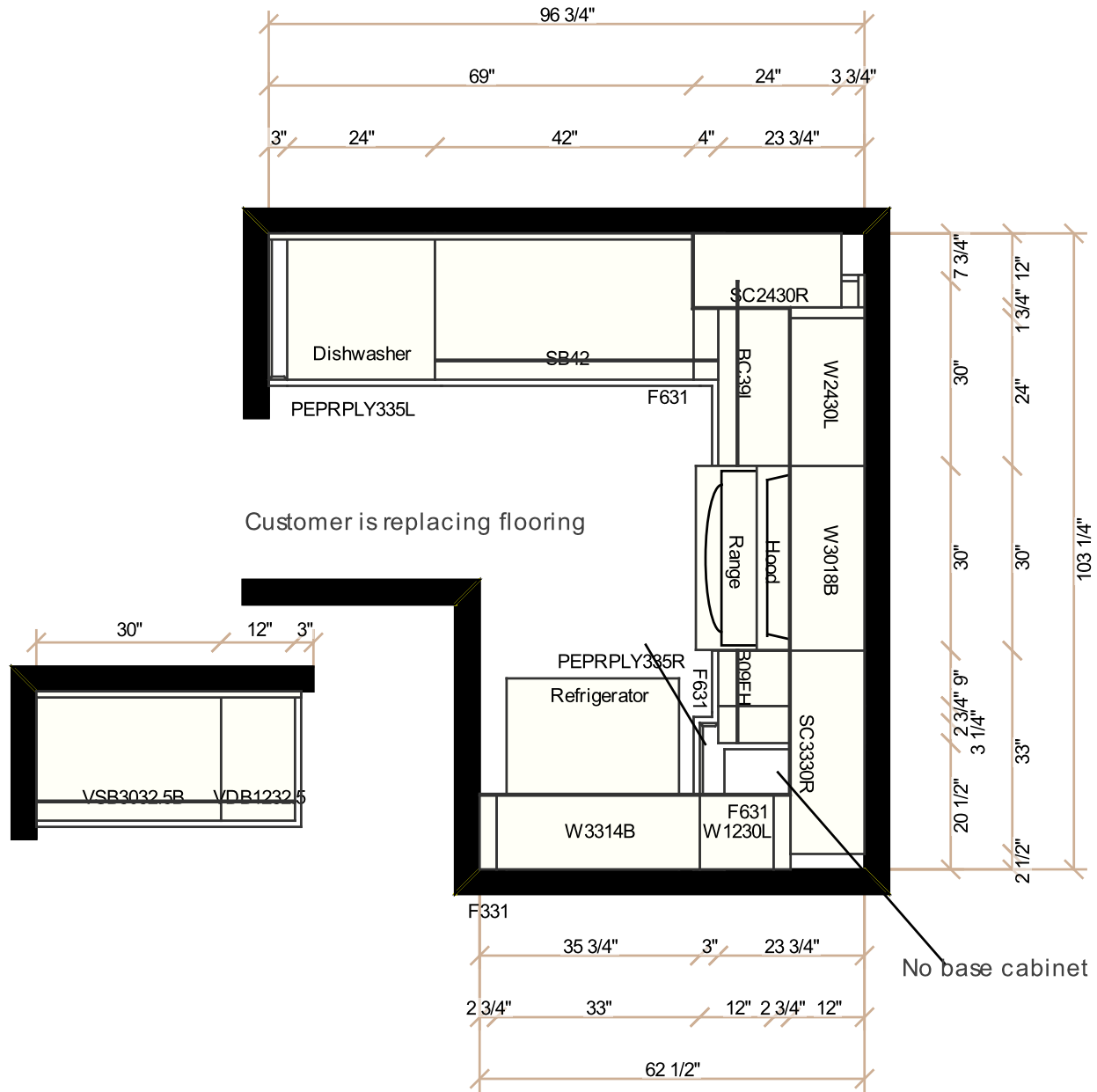


BASE CABINETS




DRAWER FEATURES

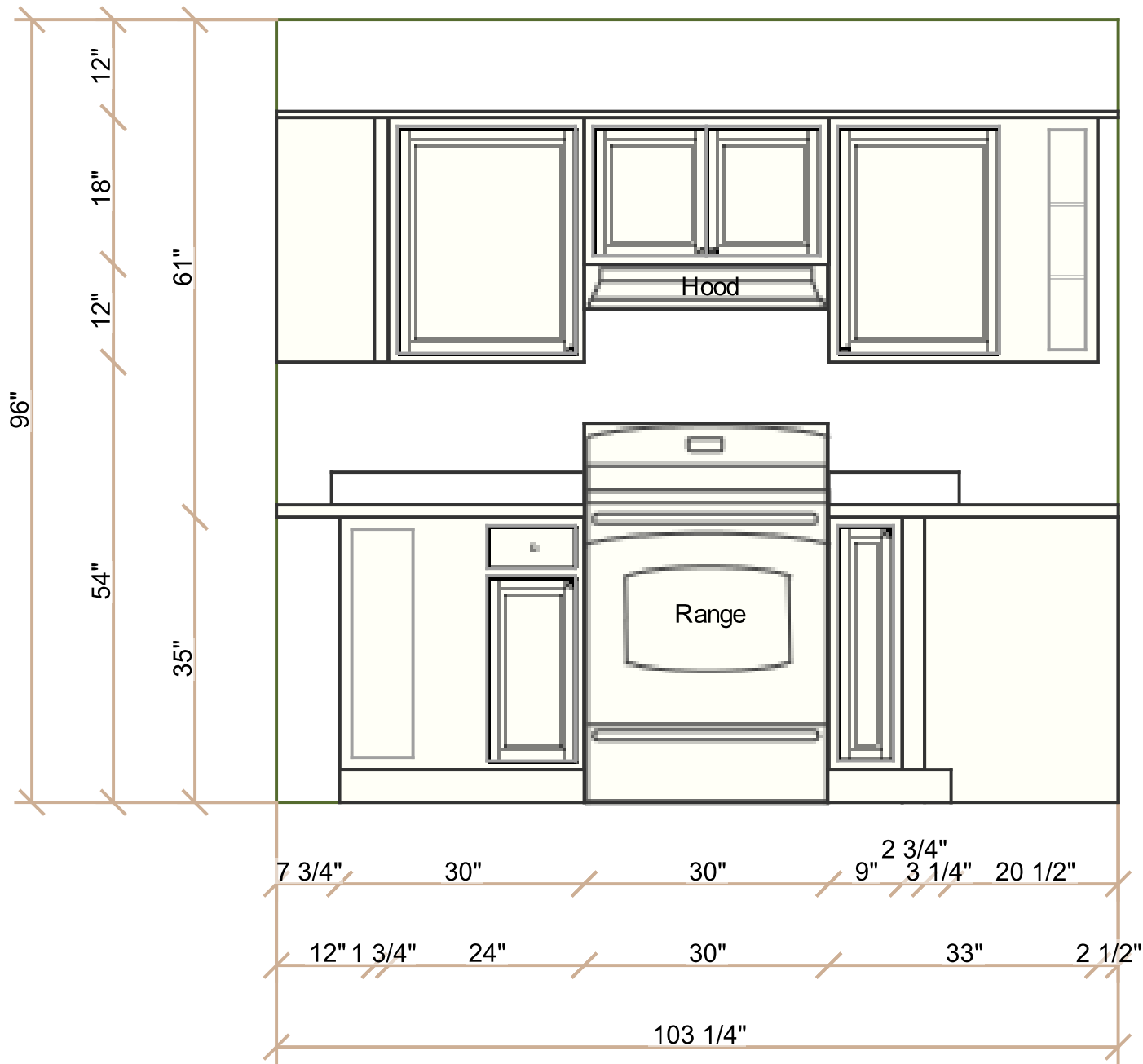




Customer is replacing flooring

No base cabinet in corner

<p>All dimensions and size designations must be verified on the site to fit job Client accepts these drawings as is ; can use them on its own risk.</p>		<p>Design drawings are provided for the fair use by the client or his agent in completing the project as listed within this contract</p>	<p>Designed:02.20.23 Printed:02.20.23</p>
<p>Design:6-42</p>	<p>Drawing #:1</p>	<p>Display settings 7/16" = 1'</p>	

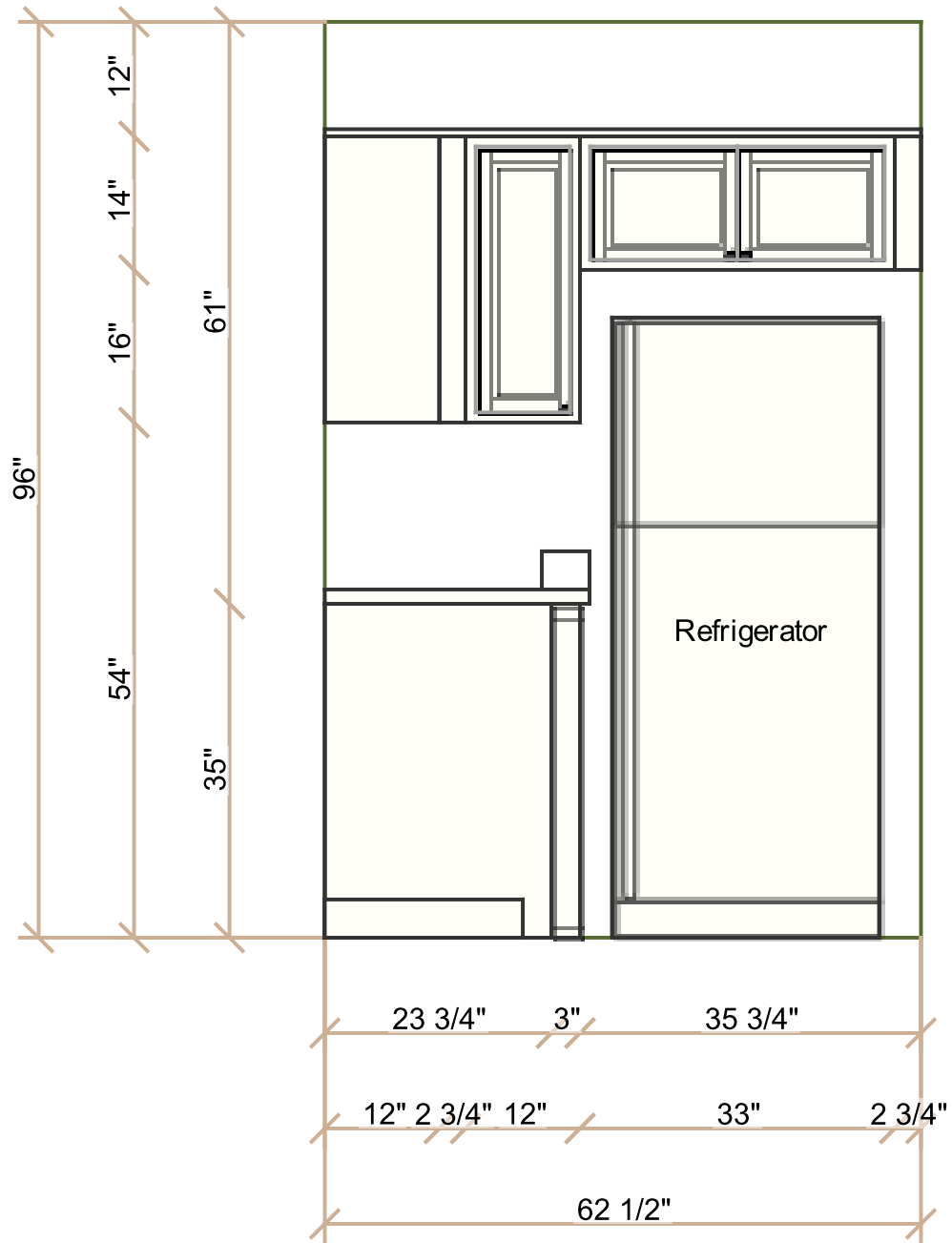


All dimensions and size designations must be verified on the site to fit job. Client accepts these drawings as is; can use them on its own risk.



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Designed:02.20.23
Printed:02.20.23



All dimensions and size designations must be verified on the site to fit job. Client accepts these drawings as is; can use them on its own risk.



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Designed:02.20.23
Printed:02.20.23

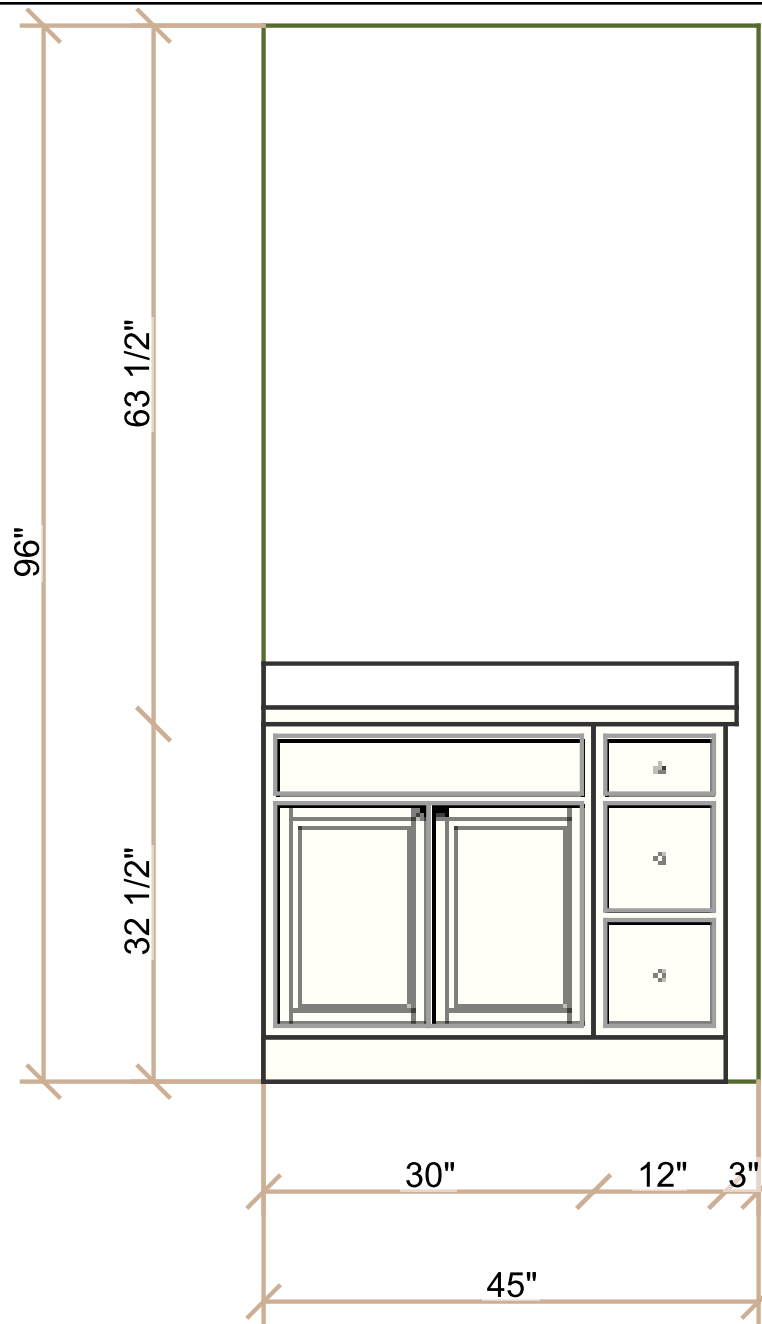


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Designed:02.20.23
Printed:02.20.23



Batch #: WATK2300876
lab use only

CHAIN OF CUSTODY

Client/Company Name: Alpine Cleaning and Restoration

Address: 1620 75th Street SW, Everett, WA 98203-6260

Office Phone #: (425) 348-7387

Project Manager: Kevin Kaczka **Email:** kevin.kaczka@alpinecleaning.net

Project Manager Phone #: (425) 760-3721

Project Name: KCHA- Villages at South Station Bldg 6 Unit#42 Limited Sampling

Project/PO Number: _____

Project Address: 3724 S 154th Lane, Tukwila, WA 98188

<p style="text-align: center;">Asbestos</p> <input checked="" type="checkbox"/> PLM Bulk Asbestos <input type="checkbox"/> PLM Tape Lift <input type="checkbox"/> PLM 400 Point Count <input type="checkbox"/> PLM 1000 Point Count	<p style="text-align: center;">Lead</p> <input type="checkbox"/> Paint Chip <input type="checkbox"/> Swab <input type="checkbox"/> Air	<p style="text-align: center;">Mold</p> <input type="checkbox"/> Bulk <input type="checkbox"/> Tape Lift <input type="checkbox"/> Air	<p style="text-align: center;">Sample Condition</p> <input type="checkbox"/> Good <input type="checkbox"/> Damaged <input type="checkbox"/> Severe Damage
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note: separate form required for lead and mold air samples

Turnaround Time: _____

Number of Samples: 5

SEQ#	Sample ID/Location	Sample Description	SEQ#	Sample ID/Location	Sample Description
1	1-1 Hallway	Ceiling-Paint/Texture/WB	16		
2	1-2 Hall Bathroom	Ceiling-Paint/Texture/WB	17		
3	1-3 Master Bedroom Closet	Ext-Wall-Paint/Texture/WB	18		
4	2-1 Kitchen	Backsplash Caulk/Mastic	19		
5	2-2 Hall Bathroom	Backsplash Caulk/Mastic	20		
6			21		
7			22		
8			23		
9			24		
10			25		
11			26		
12			27		
13			28		
14			29		
15			30		

	Print Name	Signature	Company Name	Date	Time
Sampled	Mike Stearns		WAT	1/30/2023	8:25 AM
Relinquished	Mike Stearns		WAT	1/30/2023	8:25 AM
Delivered	Mike Stearns		WAT	1/30/2023	9:00 AM
Received	Mike Stearns		WAT	1/30/2023	9:05 AM
Analyzed			WAT	1/30/2023	
Reported			WAT	1/30/2023	

How would you like to be notified? Email Phone _____

Washington Asbestos Testing LLC guarantees the test results provided are of a precision normal with the type of methods recognized in asbestos analysis. Washington Asbestos Testing LLC accepts no legal responsibility for the purpose for which the client uses the test results. By signing this Chain of Custody form the client agrees to relieve Washington Asbestos Testing LLC of any and all liability that may arise from the test results.



Washington Asbestos Testing LLC
 11200 Kirkland Way Ste. 340A, Kirkland, WA 98033 ▪ (425) 658-7286
 12811 8th Ave W Ste. B101, Everett, WA 98204 ▪ (425) 374-8706
 watestingllc.com

NVLAP Lab Code 600040-0

Batch #: WATK2300876

**Asbestos Analysis of Bulk Materials by App. E to Sub. E of 40 CFR Part 763 and EPA 600/R-93/116
 Methods Using Polarized Light Microscopy**

Attn: **Kevin Kaczka**
Alpine Cleaning and Restoration
1620 75th Street SW, Everett, WA 98203-6260

Project: **KCHA- Villages at South Station Bldg 6 Unit#42 Limited Sampling**
3724 S 154th Lane, Tukwila, WA 98188

Office Phone: (425) 348-7387
 Date Received: 1/30/2023
 Date Analyzed: 1/30/2023
 Samples Received: 5
 Samples Analyzed: 5

Analyzed By David Henry

Approved By _____
 Approved Signatory (If Necessary)

SEQ#	SAMPLE ID	LAYER	DESCRIPTION	% NON-ASBESTOS FIBERS	% NON-FIBROUS	% ASBESTOS TYPE
1	1-1 Hallway	1	White compact powdery texture with paint	3% Cellulose	97% Non-fibrous (Other)	None Detected
		2	White compact powdery texture with paint	3% Cellulose	97% Non-fibrous (Other)	None Detected
		3	White compact powdery joint compound with paper	35% Cellulose	65% Non-fibrous (Other)	None Detected
		4	White chalky material with paper	20% Cellulose	80% Non-fibrous (Other)	None Detected
2	1-2 Hall Bathroom	1	White compact powdery texture with paint	3% Cellulose	97% Non-fibrous (Other)	None Detected
		2	White compact powdery texture with paint	3% Cellulose	97% Non-fibrous (Other)	None Detected
		3	White compact powdery joint compound with paper	35% Cellulose	65% Non-fibrous (Other)	None Detected
		4	White chalky material with paper	20% Cellulose	80% Non-fibrous (Other)	None Detected
3	1-3 Master Bedroom Closet	1	White compact powdery texture with paint	3% Cellulose	97% Non-fibrous (Other)	None Detected
		2	White compact powdery texture with paint	3% Cellulose	97% Non-fibrous (Other)	None Detected
		3	White compact powdery joint compound with paper	35% Cellulose	65% Non-fibrous (Other)	None Detected
		4	White chalky material with paper	20% Cellulose, Glass	80% Non-fibrous (Other)	None Detected
4	2-1 Kitchen	1	Clear elastic material	2% Cellulose	98% Non-fibrous (Other)	None Detected
		2	White mastic	2% Cellulose	98% Non-fibrous (Other)	None Detected
		3	White compact powdery texture with paint	3% Cellulose	97% Non-fibrous (Other)	None Detected
5	2-2 Hall Bathroom	1	White mastic	2% Cellulose	98% Non-fibrous (Other)	None Detected
		2	White compact powdery texture with paint	3% Cellulose	97% Non-fibrous (Other)	None Detected
		3	White chalky material with paper	20% Cellulose	80% Non-fibrous (Other)	None Detected

The results given relate only to the items tested. The results apply to the sample(s) as received.
 Reports must not be used by the client to claim product certification, approval, or endorsement by NVLAP, NIST, or any agency of the Federal Government.