



Board of Commissioners
Doug Barnes, *Chair*
TerryLynn Stewart
Regina Elmi
Richard Jackson
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President/CEO
Robin Walls

INVITATION TO BID

Exterior Renovations
at

Cascadian Apartments 15517 NE 12th St., Bellevue WA 98007

February 23, 2024

ADDENDUM NO. 1

This addendum is used to clarify, change, delete, add to or substitute items in the original contract documents.

BID DATE: ~~February 29, 2024 at 2:00 pm~~ Thursday, March 14, 2024 at 2:00 pm

QUESTIONS DEADLINE: Thursday, February 22, 2024 at 9:00 am

NUMBER OF PAGES: 19

ATTACHMENTS: Photos 1 page
Bid Form 5 pages
SMR Plans 9 pages

CONTRACT NUMBER: DW2400631

NOTICE TO BIDDERS: Bidders are hereby notified of the following changes and/or clarifications to the Contract Documents for this project:

CHANGES:

1. The bid due date is extended to March 14, 2024 at 2:00 pm
2. The Bid Form has been updated to include the Add/Alternate line item.

QUESTIONS:

Q. 1. Windows and Sliding Patio Doors- These are not scheduled to be replaced. Do they need to be removed in order to flash?

A. BASE BID: To install the new exterior cladding, existing windows need to be removed and reinstalled.

ADD-ALTERNATE 1: Provide new windows and new sliding doors to Building N and Building P. See sheet A600 for door and window schedule. See section 08 00 00 on sheet G004 for product specifications and manufacturers. See attached revised bid sheet with ADD/ALTERNATE bid item to be filled in as a required line item in the bid. Because the labor to install the existing windows is already in the base bid, this item includes only the added material costs to provide the new windows and sliding doors.

Q. 2. Roof Shoring- Do you have a shoring detail on how you want these roofs shored while decks are being rebuilt?

A. See revised sheet S203 for Structural notes on roof plan and leader indicating required loads for contractor to provide shoring as Means and Methods.

Q. 3. Insulation @Shear Walls- What is the existing insulation? This will need to be removed for sheer wall work. Is the existing insulation to be reinstalled or is it to be replaced with new?

A. Assumed remove and replace insulation in-kind wherever the new shear walls are to be replaced. See Structural plans.

Q. 4. Added Post & Beam @ Carport- There doesn't appear to be a detail on how this is to be anchored to both post base as well as post to beam. Please advise.

A. Post & Beam @ Carport details: (14/S300) & (6/S401). These details are noted on sheets: N-S200, N-S201; P-S200, P-S201.

Q. 5. Existing Irrigation System- It appears that there is an irrigation system adjacent to the concrete patios that are slated to be removed and re-poured. There is a high probability that these will get damaged. Is it in the scope of work to replace this system?

A. The existing irrigation system is active and will need to be either preserved/protected or repaired to original functionality as part of this contract at the conclusion of the project.

Q. 6. Per the bid docs, is it the G.C responsibility to obtain a special inspection agency to perform ongoing site inspection? Can you please confirm specific additional permits that will be needed to fully cover the project scope of work? Per notes in Pre-Bid Agenda, the contractor is responsible to pay for permits. To verify the cost, please provide with reference number(s) related to plan check in the building department.

A. All special inspections will be the responsibility of the owner. Contractor is required to coordinate and support the schedule and interaction with the owner to provide all necessary building permit and special inspections. The building permits are already approved and included in the bid documentation. Contractor is responsible for obtaining and paying for all necessary additional permits and for the coordination of all required inspections. If any trade related permits (electrical, mechanical, plumbing) are required or any other permits from the municipality it is the responsibility of the contractor to obtain them.

Q. 7. Existing privacy wall at decks – What is the material and design intent?

A. Existing privacy wall at decks to be removed. Install new privacy wall wood slat screen. Design intent: Wood slat surface mounted screen. See details 6, 6a, and 9 on sheet A562 for field fabricated privacy screen. Other manufacturer accepted: Enclo Tiaga wood surface mount privacy screen. Product's website: <https://encloscreens.com/product/tiaga-slatted-wood-freestanding-or-surface-mounted-privacy-screen-kit-1-panel-735in-h-x-36in-w-188.html>

Q. 8. Patio Deck Column Footing / Turned Down Slab:

Sheet N-S200 Plan view shows a solid black line outside of the HSS Columns, noting detail 3N-S300. Detail 8N-S300 shows the turned down slab edge, pouring to the backside of the steel HSS columns, sitting on top of the spread footing.

What's the design intent, are we to pour the turned down slab per detail 8N-S300 to the back side of the HSS column?

A. See revised sheet S200 and S300 for Structural details.

Q. 9. Added Post & Beam @ Carport- There doesn't appear to be a detail on how this is to be anchored to both post base as well as post to beam. Please advise.

A. See Q. 4 response.

Q. 10. Deck Coatings- There appears to be conflicting details on what the liquid applied deck membrane is and where to apply it? Are we able to use other deck coating companies if they are certified applicators for Rhino Lining?

A. The liquid applied deck membrane is to be applied at all upper deck levels and not on the concrete patios. The materials to be applied by Rhino certified contractor per Rhino recommendations and are as follows:

1. New A/C exterior plywood, maximum 10% moisture content, with all drip, edge, deck-to-wall flashing as specified in SECTION 07620-SHEET METAL FLASHING AND TRIM.
2. Rhino Extreme Membrane 100-120 mils
3. Intermediate coat of RhinoSeal PA with aggregate applied to refusal for traction
4. Top coat of RhinoSeal PA (Color to be selected by architect/owner from standard colors).

Q. 11. Soil Contact at Bottom of Siding – Will you be issuing a flashing detail to negate digging out so much soil?

A. The design intent is to provide minimum clearance of 6” between the bottom of all siding and trim and the finish grade soils. Prior to installing new siding the contractor is required to remove surplus soils and grade away from the building to provide for proper drainage. None of the existing sidewalks, landings and the new patio elevations will conflict with this requirement.

Q. 12. Where can I find roofing documents? Can I submit a roofing substitution request? Who do we submit the bid to when complete?

A. See 03-2 Roofing Specifications and 04-PLANS for details. No substitutions will be accepted until after contract award; bidder should include the cost of all items as specified. See 02-Invitation to Bid for instructions on submitting bid.

Q. 13. What is the existing roof build up, what materials are to be demolished and replaced?

A. A destructive sample testing of the roofing buildup appears to show a single layer torch down membrane over rigid foam insulation ranging from 2-9 inches. See 03-2 Roofing Specifications and 04-PLANS for details. See attached photos from the sample testing.

Q. 14. Please provide finish schedule for new steel columns.

A. See plan sheet G004 section, 05 00 00, 09 00 00, for finish to new steel columns and beams.

Q. 15. Please provide finish schedule for new fiberglass railings and new downspouts. Clarify if these are to be pre-finished or field painted.

A. See plan sheet G004 for more information.

Fiberglass railings: pre-finished color – black.

Downspouts: prefinished – black.

Q. 16. Paragraph 01100-1.2 D-b Calls to replace 200 Lineal feet of Roof Framing Lumber. Please clarify whether this requirement includes replacement and finishing of the gypsum board ceiling attached to the framing.

A. This item is intended to be an allowance to repair the 2x wood framing supporting the plywood roof deck. If upon removal of the roofing membrane it is discovered that some of the plywood or wood framing is rotted and needs to be replaced this allowance can be applied. This item does not include interior repairs to GWB or ceiling framing, only the top chords and other framing supporting the plywood.

Q.-17. Is there any maintenance requirement for the project?

A. Other than the typical clean up and warranty requirements as described throughout the specifications and contract documents there is no maintenance requirement following completion and acceptance of the project.

All other provisions of the Contract Documents remain unchanged.

END OF ADDENDUM NO. 1



BID FORM

PROJECT NAME AND LOCATION:

**Exterior Renovation
Cascadian Apartments**

Contract Number: DW2400631

The undersigned, Legal Name of Bidder: _____ on this date: _____, 2024, having familiarized him/herself with the contract documents, site conditions, and has field verified all measurements contained in the project manual as prepared by the Owner, hereby proposes to furnish labor, materials and necessary equipment – all including, but not limited to, demolition, disposal, new installation and the required applicable taxes and fees to complete the work for the following bid amounts:

BASE BID _____ (\$ _____)
(Including sales tax indicated in Instructions to Bidders)

UNIT PRICES See Specification Section 01100, 1.2 – Unit Prices

Unit Price No. 1 _____ (\$ _____)
Roof Framing (Including sales tax indicated in Instructions to Bidders)

Unit Price No. 2 _____ (\$ _____)
Ceiling Insulation R19 (Including sales tax indicated in Instructions to Bidders)

ADDENDA _____
Acknowledge receipt of any addenda by inserting the number(s) above

ADD/ALTERNATE: Windows & Sliding Doors See Addendum No. 1.

1.) _____ (\$ _____)
(Including sales tax indicated in Instructions to Bidders)

In submitting this bid, it is understood that the right is reserved by the Owner to reject any and all bids. The undersigned hereby agrees that this proposal shall be a valid and firm offer for a period of Sixty (60) calendar days from the date of Bid Opening.

Bidder agrees that Work will be substantially complete and ready for final payment in accordance with the Contract Documents on or before the date, within the number of calendar days indicated.

BID FORM

The undersigned Bidder hereby certifies that, within the three-year period immediately preceding the bid solicitation date for this Project, the bidder is not a “willful” violator, as defined in RCW 49.48.082, of any provision of chapters 49.46, 49.48, or 49.52 RCW, as determined by a final and binding citation and notice of assessment issued by the Department of Labor and Industries or through a civil judgment entered by a court of limited or general jurisdiction.

I certify (or declare) under penalty of perjury under the laws of the State of Washington that the foregoing is true and correct.

Signature of Bidder

Print Your Name

Submitted on _____ day of _____ 2024

City

State

BIDDER INFORMATION

BIDDER INFORMATION

Name of Bidder (Company): _____

Address: _____

Contact Name: _____

Phone Number: _____ Email Address: _____

Business Type: General Contractor () Other () (Please specify): _____

Bidder is a(n): Individual Partnership Joint Venture Incorporated in the state of _____

List business names & associated UBI # used by Bidder during the past 5 years if different than above:

Bidder has been in business continuously from: _____
Month, Year

Business License #: _____ Federal ID #: _____

Current UBI #: _____ Dept. of L&I Worker's Comp. Acct. #: _____

Bidder has experience in work "Similar in Scope and Complexity" comparable to that required for this Project:

As a prime contractor for _____ years. As a subcontractor for _____ years.

OWNER(S) OF COMPANY (List all owners):	OWNER'S SOCIAL SECURITY NUMBER (only required if sole proprietorship):

No. of regular full-time employees other than owner(s): _____

Indicate clearly the kind of work your company will actually perform in this project:

Approximate % of work your company will actually perform: _____

List the supervisory personnel to be employed by the Bidder and available for, and intended to, work on this project:

<u>Name</u>	<u>Title</u>	<u>How Long With Bidder</u>

BIDDER INFORMATION

SUBCONTRACTORS

Do you intend to use Subcontractor(s) in this project? Yes No (If yes, you must show the name of the subcontractors. Attach additional pages as necessary.)

Subcontractors Name	Subcontractor's UBI#	Phone Number	Trade	Years in Business
1.				
2.				
3.				
4.				
5.				

BIDDER'S EXPERIENCE

Projects successfully supervised and completed by your company for work of similar scope and value as specified in bid documents in the last 5 years. Attach additional pages as necessary.

Name of Project	Completion Date	Duration (Months)	Nature of Work	Amount of Contract
1.				
2.				
3.				
4.				
5.				

Owner's Name (of project listed above)	Project Address	Contact Person	Phone Number
1.			
2.			
3.			
4.			
5.			

Has Bidder ever been found guilty of violating any State or Federal employment laws? No Yes

If yes, give details & attach additional pages as necessary: _____

Has Bidder ever filed for protection under any provision of the federal bankruptcy laws or state insolvency laws?

No Yes If yes, give details & attach additional pages as necessary: _____

BIDDER INFORMATION

Has any lien, claim and/or adverse legal action related to construction been rendered against Bidder in the past five years? (i.e., open claims, lawsuits, warrants, judgements including but not limited to those that would show on the L&I website) No Yes If yes, give details & attach additional pages as necessary: _____

Has Bidder or any of its employees filed any claims with Washington State Worker's Compensation or other insurance company for accidents resulting in fatal injury or dismemberment in the past 5 years? No Yes
If yes, please state:

<u>Date</u>	<u>Type of Injury</u>	<u>Agency Receiving Claim</u>
_____	_____	_____
_____	_____	_____

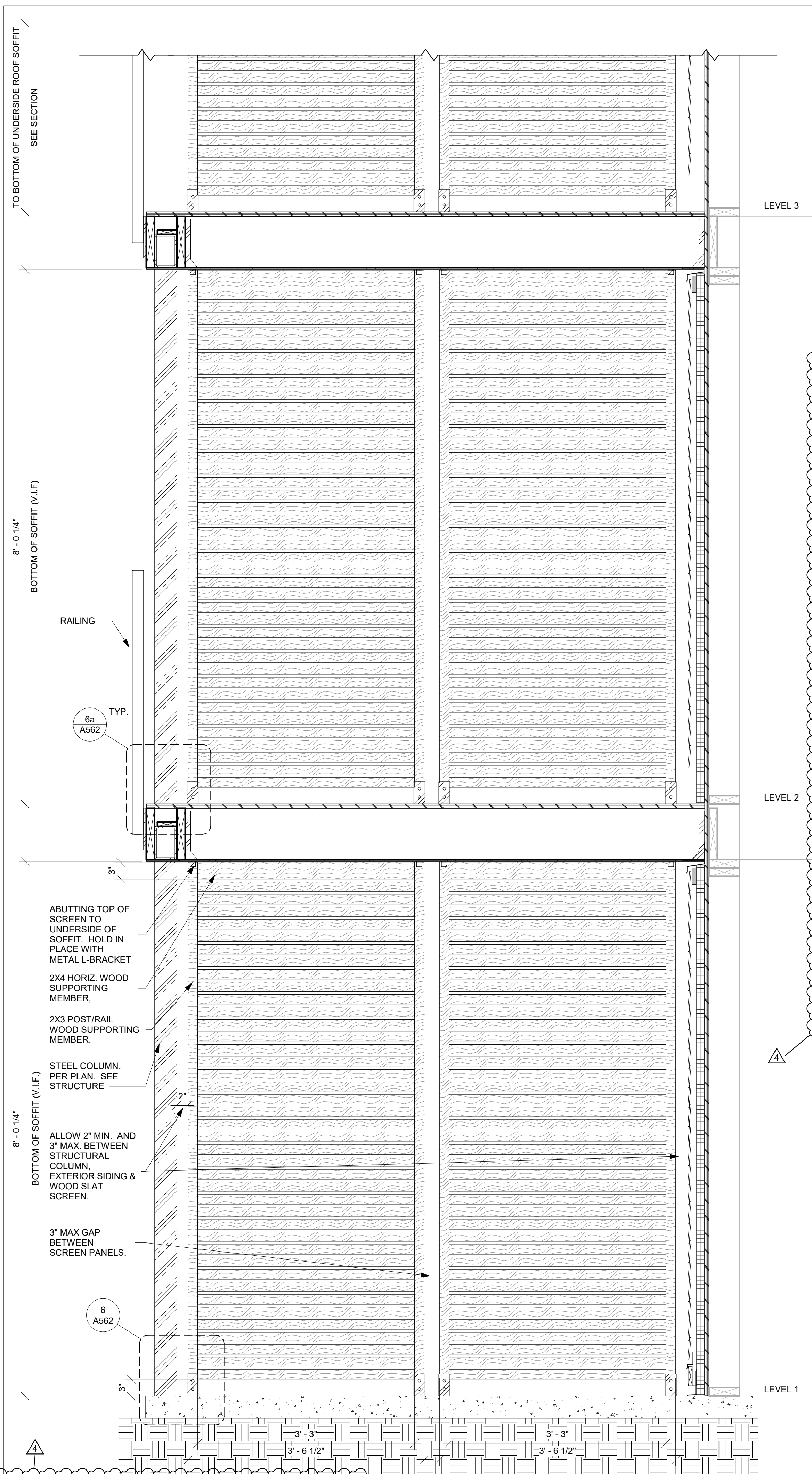
Bidders current Experience Modification Rate (EMR): _____

(If Bidder is self-insured, attach proof of EMR stated, showing complete worksheet calculations)

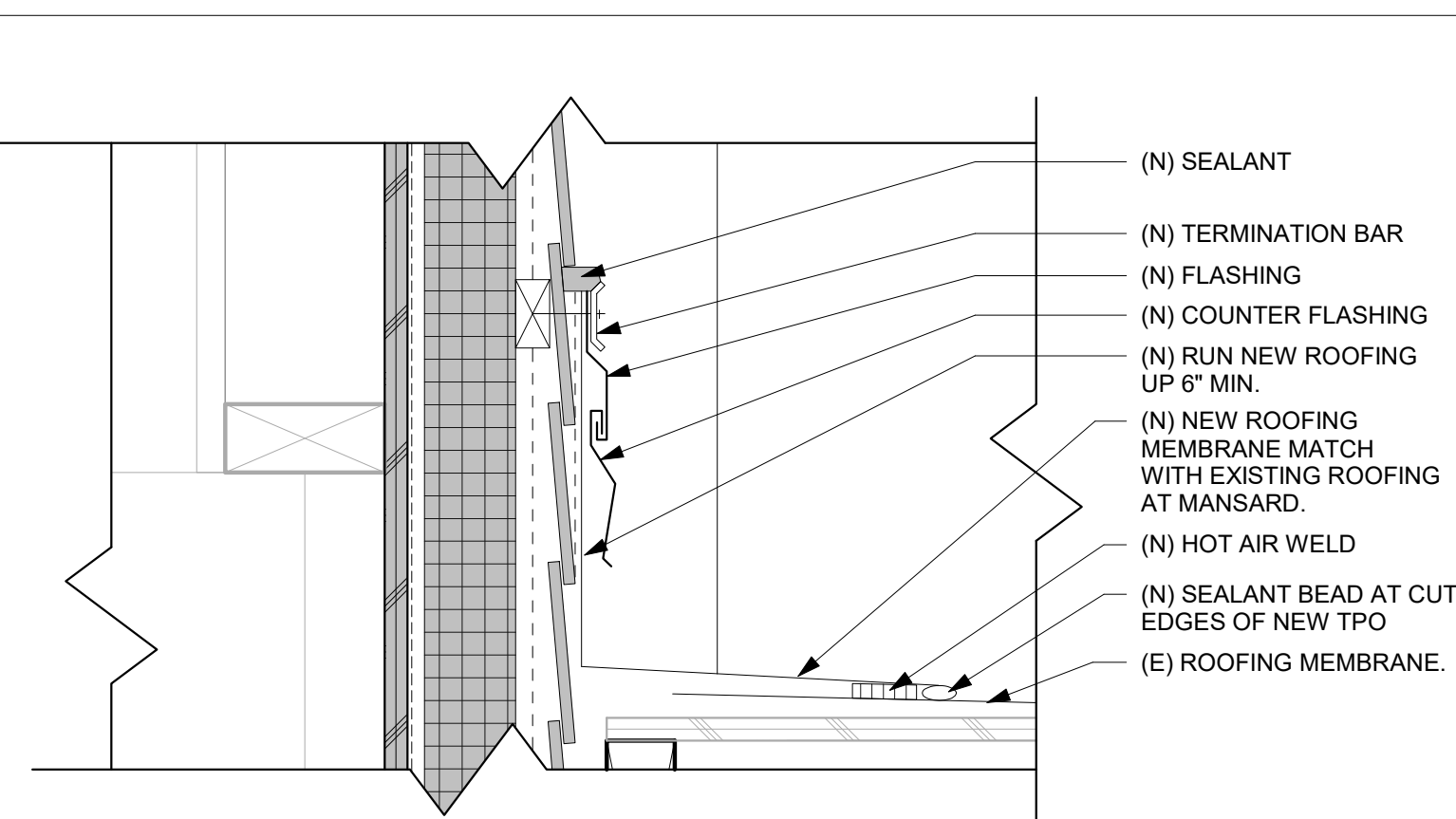
The bidder hereby certifies that the information contained in this Bidder's Information is accurate, complete and current.

BY: _____ NAME: _____
(signature) (print)

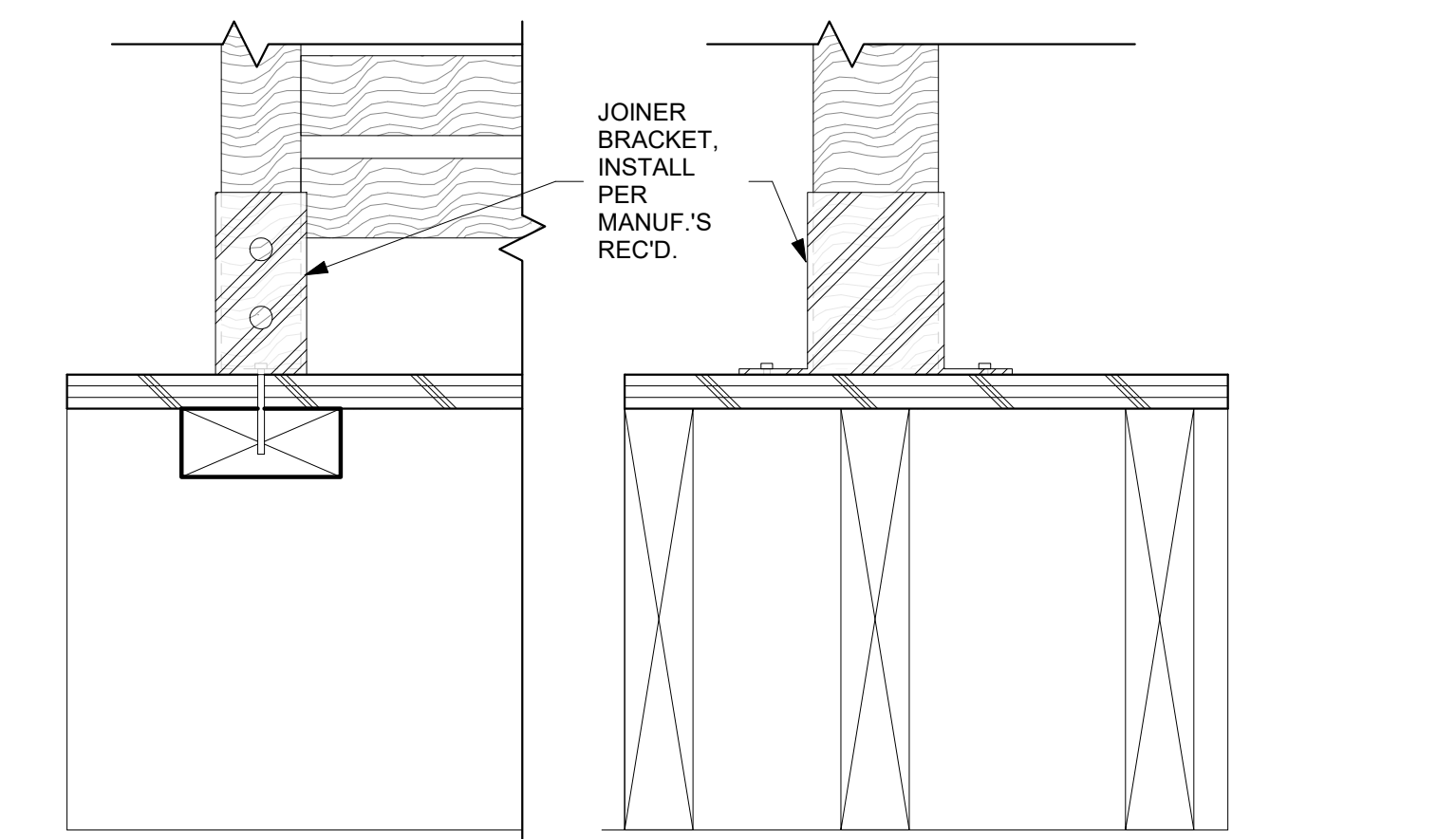
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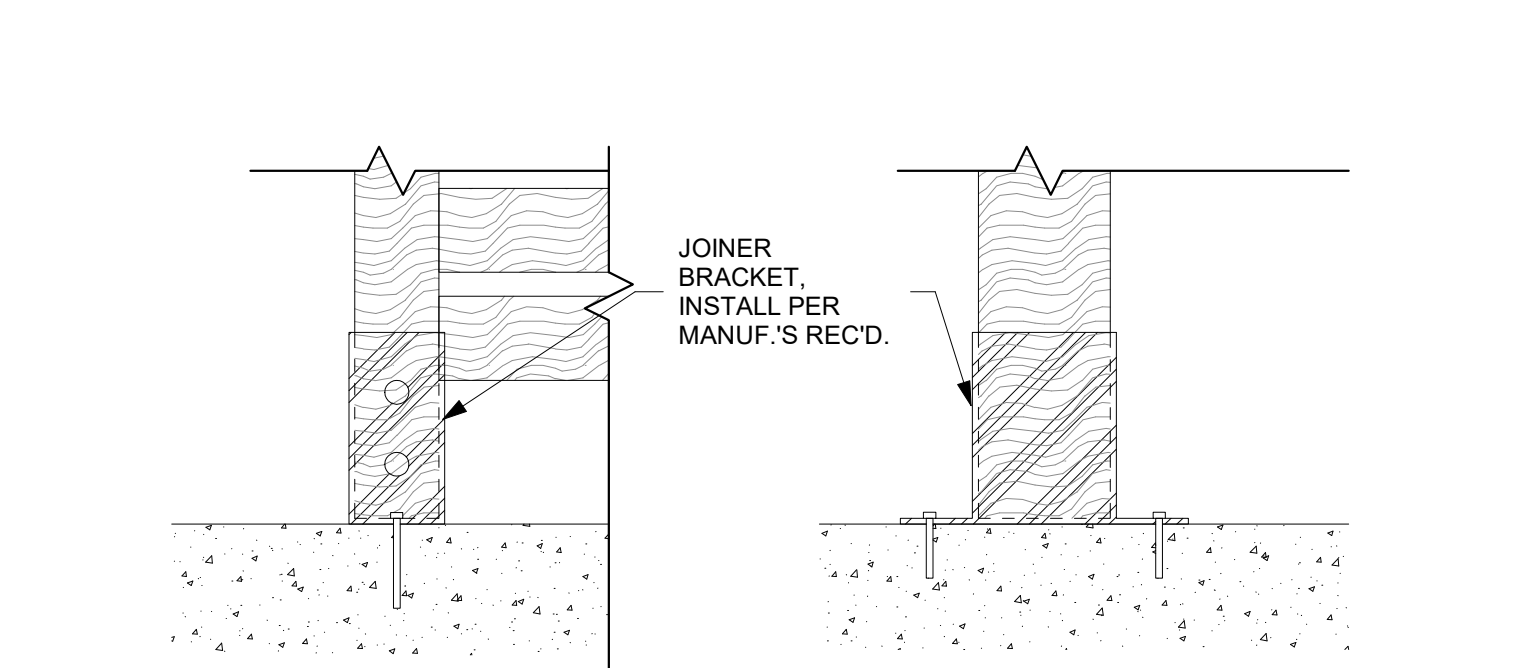
9 ELEVATION - WOOD SLAT SCREEN
SCALE: 1" = 1'-0"



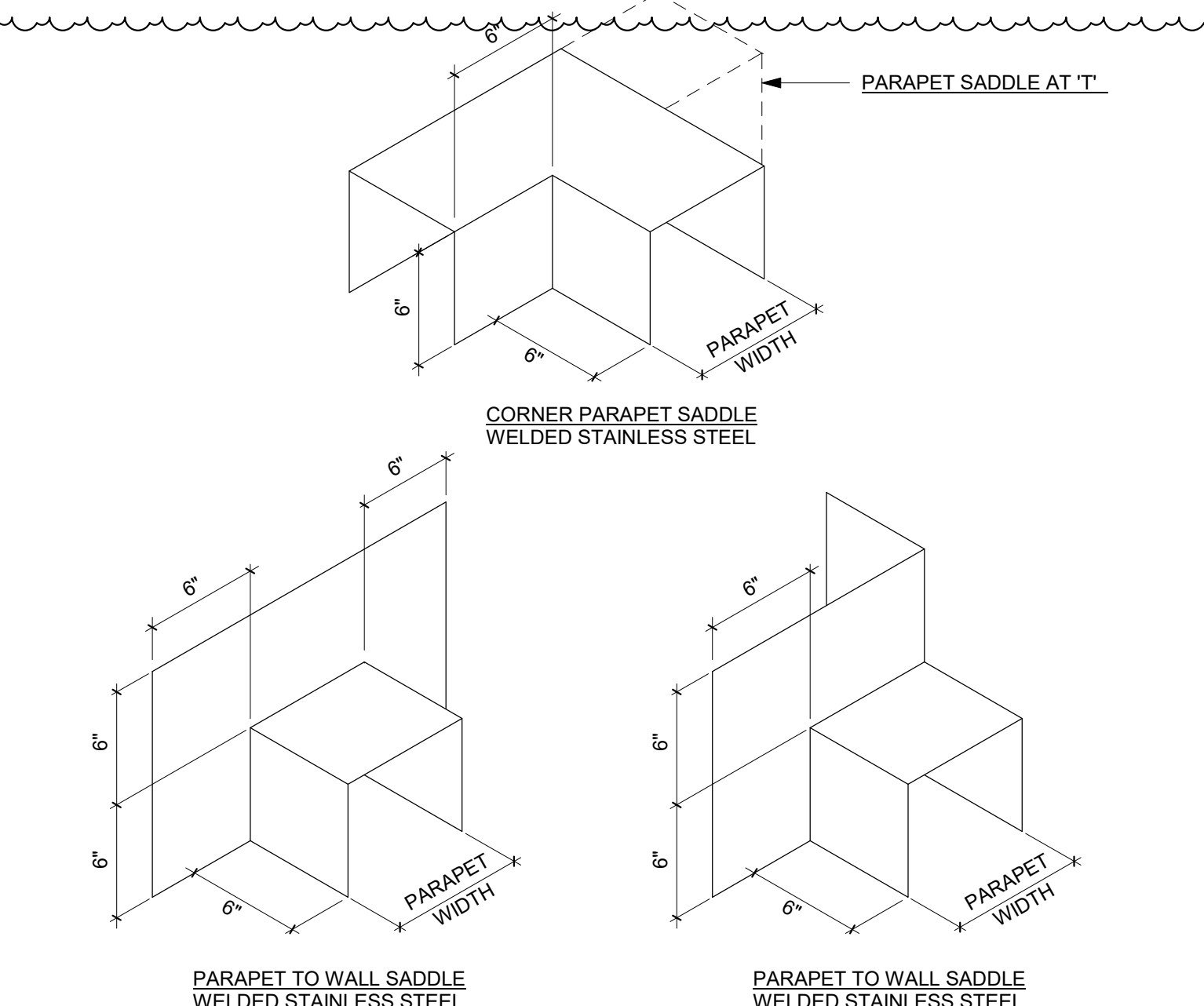
7 CARPORT ROOF CONNECTION Copy 2
SCALE: 3" = 1'-0"



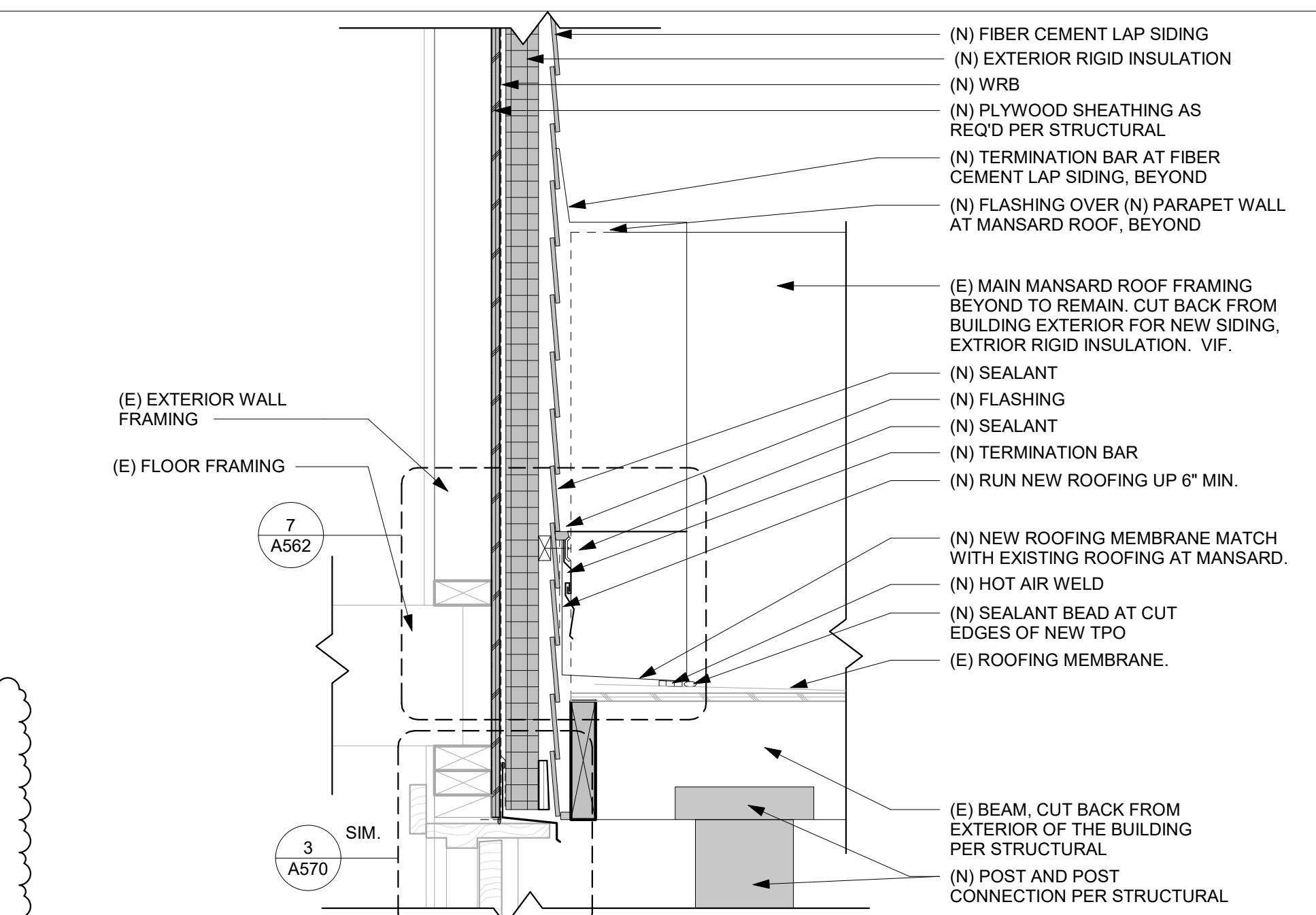
6a WOOD SCREEN - BASE AT WOOD DECK
SCALE: 3" = 1'-0"



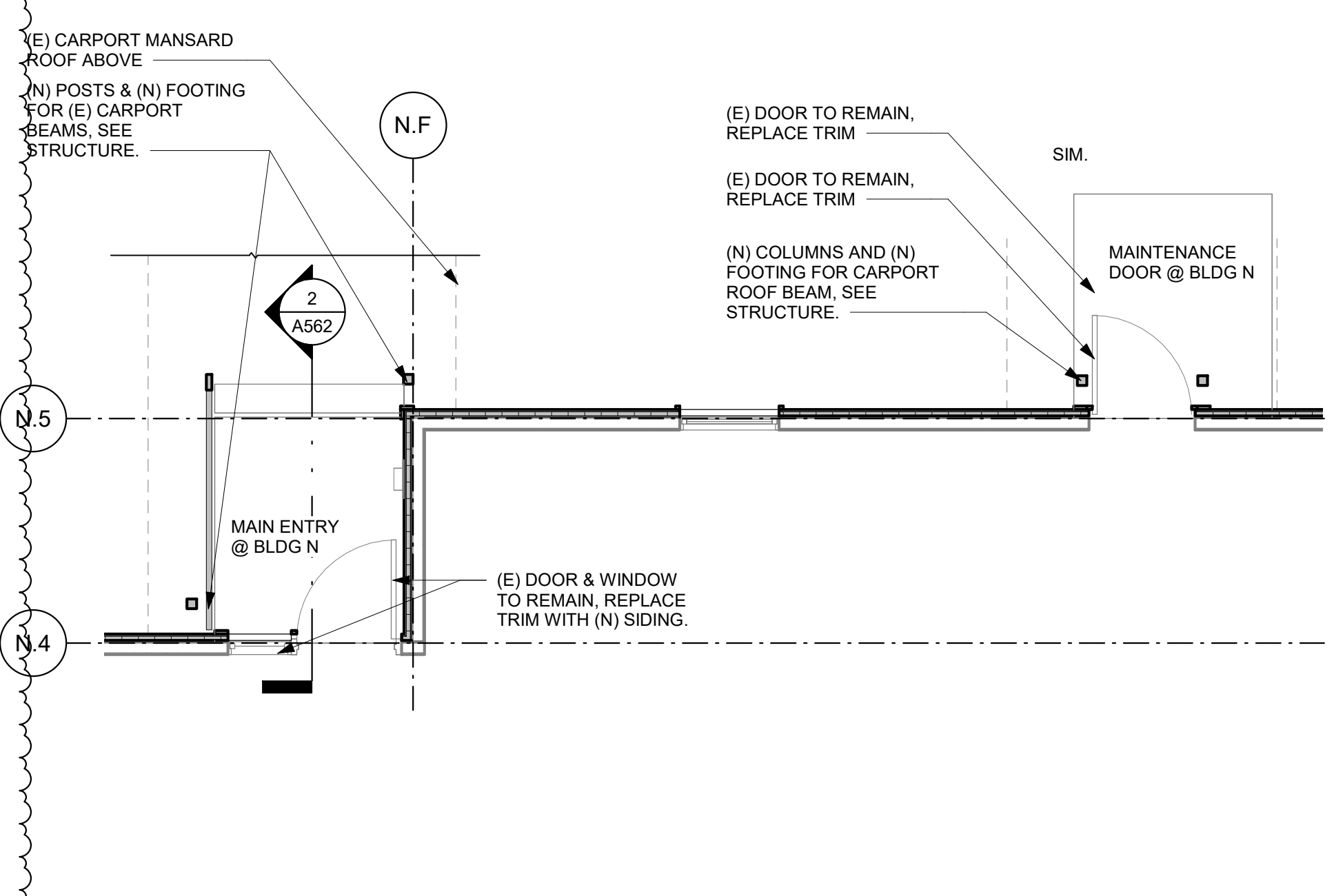
6 WOOD SCREEN - BASE AT CONCRETE
SCALE: 3" = 1'-0"



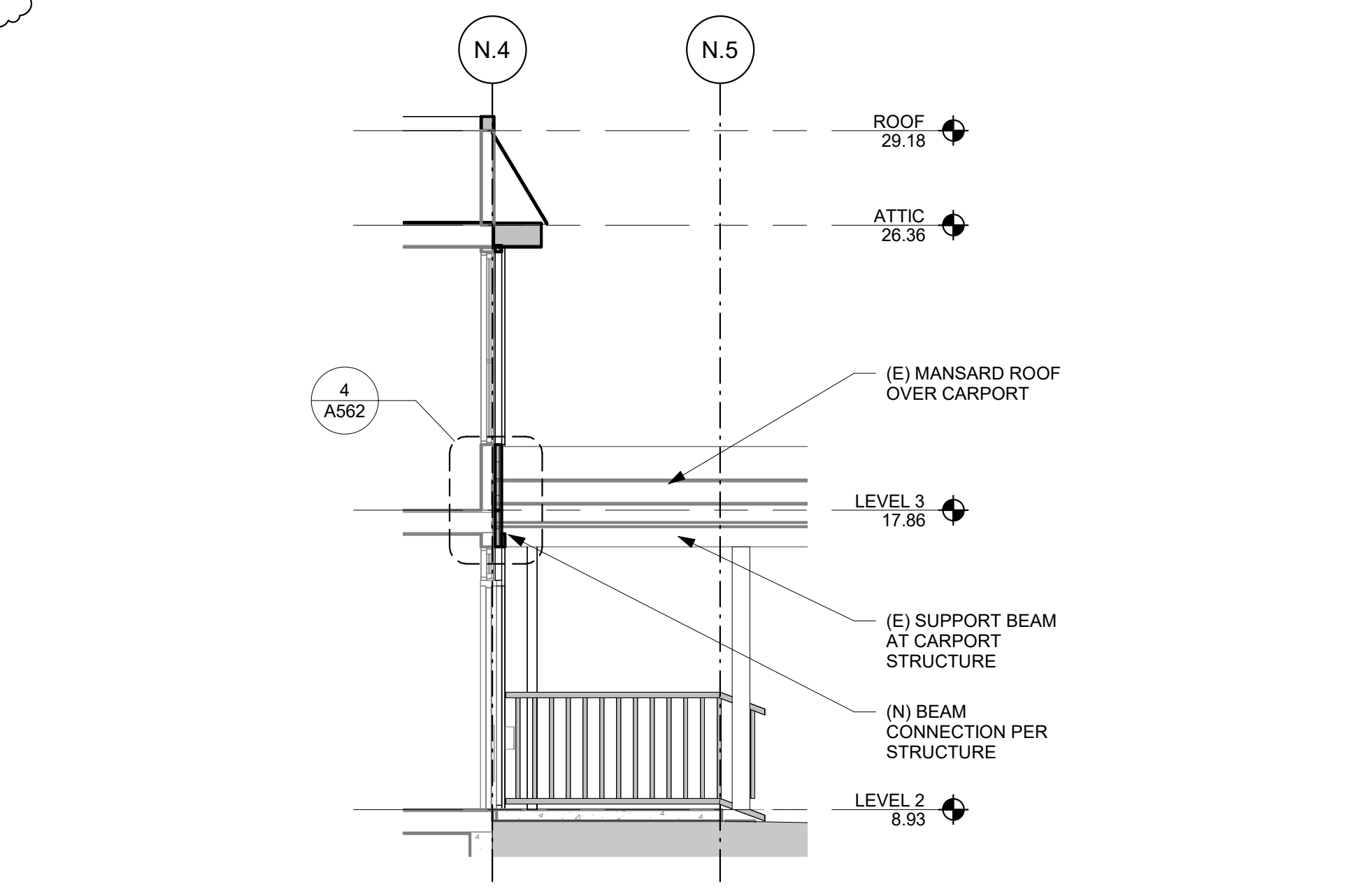
5 AXON - SADDLE FLASHING @ PARAPET
SCALE: 1 1/2" = 1'-0"



4 CARPORT ROOF CONNECTION
SCALE: 1 1/2" = 1'-0"



3 BLDG. N - PLAN - LEVEL 2 CARPORT ENTRY
SCALE: 1/4" = 1'-0"



2 SECTION - CARPORT BEAM AT ENTRY @ BLDG. N
SCALE: 1/4" = 1'-0"



SMR Architects
117 S. Main St., Suite 400
Seattle, WA 98104
PH: 206.623.1104
FX: 206.623.5285



CASCADIAN APARTMENTS

BUILDING N
15267 NE 12TH ST.
BELLEVUE, WA 98007



REVISIONS / NOTES

NO.	DATE	DESCRIPTION
1	11/23/22	PERMIT SET
2	04/27/23	CORRECTIONS 1
3	04/27/23	DESIGN CHANGE 2
4	07/26/23	CORRECTIONS 2/BID
5	02/23/24	ADDENDUM 1

AHJ STAMP

TITLE
DETAILS - SIDING AND CARPORT

PERMIT # 22129561 BM
DRAWN KTD/DLK
CHECKED DAK, AP
ISSUE DATE 07/26/23
JOB NO. 22034

SHEET NO.
A562

2/22/2024 5:13:46 PM

REVISIONS / NOTES		
NO	DATE	DESCRIPTION
1	11/23/22	PERMIT SET
2	04/27/23	CORRECTIONS 1
3	04/27/23	DESIGN CHANGE 2
4	07/26/23	CORRECTIONS 2/BID
5	02/23/24	ADDENDUM 1

AHJ STAMP

TITLE
SCHEDULES

PERMIT # 22129561 BM
DRAWN KTD/DLK
CHECKED DAK, AP
ISSUE DATE 02/23/24
JOB NO. 22034
SHEET NO.:

A600

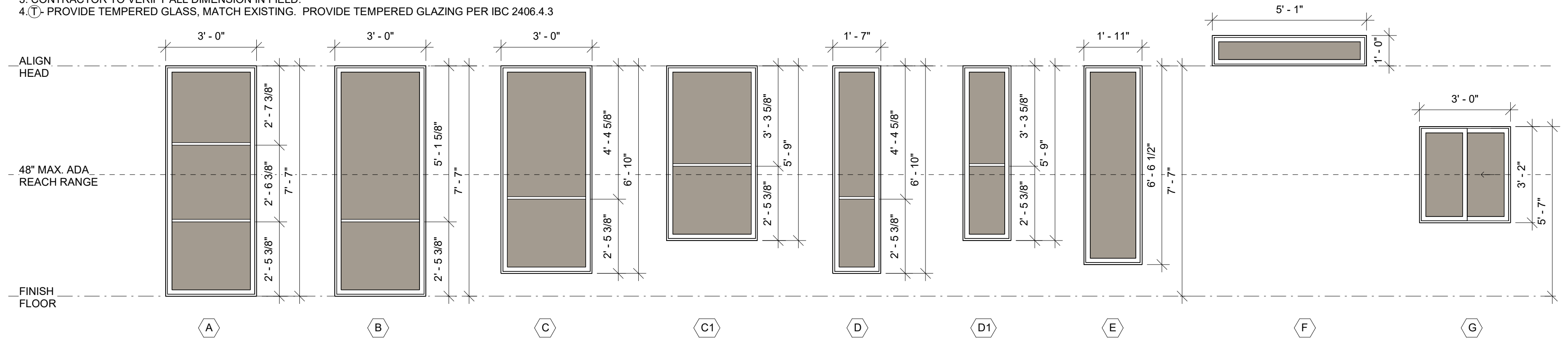
WINDOW SCHEDULE - VINYL-BUILDING N													
Mark	TYPE	SIZE				OPERATION	FRAME	FRAME COLOR	U VALUE	SQ FT	QTY	REMARKS	
		RO WIDTH	RO HEIGHT	WIDTH	HEIGHT								
N-A	A	3'-0"	7'-7"	2'-11 1/2"	7'-6 1/2"	0'-1 1/2"	SINGLE HUNG	VINYL	TO MATCH EXIST	0.26	22 SF	20	1,2,3
N-B	B	3'-0"	7'-7"	2'-11 1/2"	7'-6 1/2"	0'-1 1/2"	SINGLE HUNG	VINYL	TO MATCH EXIST	0.26	22 SF	20	1,2,3
N-C1	C1	3'-0"	5'-9"	2'-11 1/2"	5'-8 1/2"	1'-11 1/2"	FIXED	VINYL	TO MATCH EXIST	0.26	17 SF	2	1,2,3
N-D1	D1	1'-7"	5'-9"	1'-6 1/2"	5'-8 1/2"	1'-11 1/2"	FIXED	VINYL	TO MATCH EXIST	0.26	9 SF	1	1,2,3
N-E	E	1'-11"	6'-6 1/2"	1'-10 1/2"	6'-6"	0'-1 1/2"	FIXED	VINYL	TO MATCH EXIST	0.26	12 SF	1	1,2,3
N-F	F	5'-1"	1'-0"	5'-0 1/2"	0'-11 1/2"	6'-10"	FIXED	VINYL	TO MATCH EXIST	0.26	5 SF	1	1,2,3

45

WINDOW SCHEDULE - VINYL-BUILDING P													
Mark	TYPE	SIZE				OPERATION	FRAME	FRAME COLOR	U VALUE	SQ FT	QTY	REMARKS	
		RO WIDTH	RO HEIGHT	WIDTH	HEIGHT								
P-A	A	3'-0"	7'-7"	2'-11 1/2"	7'-6 1/2"	0'-1 1/2"	SINGLE HUNG	VINYL	TO MATCH EXIST	0.26	22 SF	38	1,2,3
P-B	B	3'-0"	7'-7"	2'-11 1/2"	7'-6 1/2"	0'-1 1/2"	SINGLE HUNG	VINYL	TO MATCH EXIST	0.26	22 SF	26	1,2,3
P-D	D	1'-7"	7'-7"	1'-6 1/2"	7'-6 1/2"	0'-1 1/2"	FIXED	VINYL	TO MATCH EXIST	0.26	12 SF	1	1,2,3
P-G	G	3'-0"	3'-2"	2'-11 1/2"	3'-1 1/2"	4'-6 5/16"	SLIDER	VINYL	TO MATCH EXIST	0.26	9 SF	4	1,2,3

69

- NOTES:**
1. ALL EXISTING WINDOWS TO REMAIN. REPLACE IN KIND IF EXISTING WINDOWS SHOW EXTENSIVE DAMAGES DURING RESIDING PHASE.
ADD-ALTERNATE-1: PROVIDE NEW EXTERIOR WINDOWS.
2. CONTRACTOR TO VERIFY QUANTITIES IN ON PLANS, ELEVATIONS, AND IN FIELD.
3. CONTRACTOR TO VERIFY ALL DIMENSION IN FIELD.
4. (T) PROVIDE TEMPERED GLASS, MATCH EXISTING. PROVIDE TEMPERED GLAZING PER IBC 2406.4.3



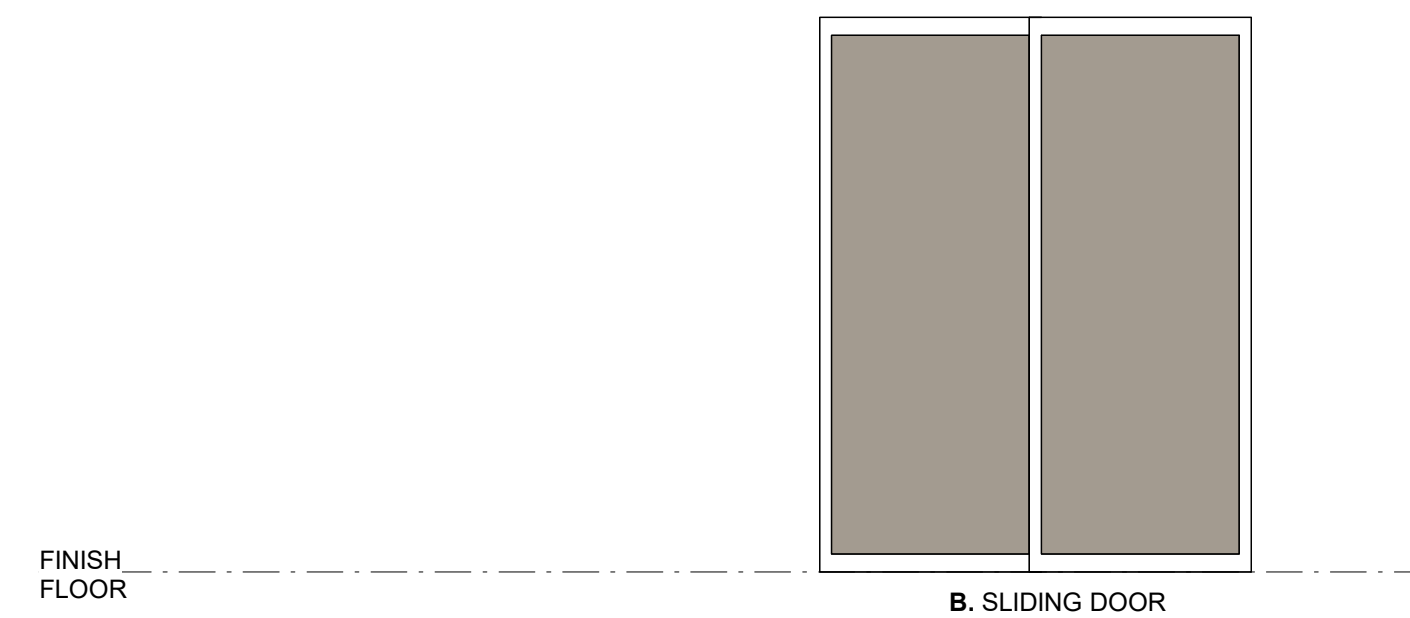
610 WINDOW TYPES - VINYL

SCALE: 3/8" = 1'-0"

600 DOOR SCHEDULE - BUILDING N												
DOOR #	SIZE			TYPE	DOOR			FRAME TYPE	DETAILS			REMARKS
	W	H	THK		MATERIAL	HDWE	HEAD		SILL	JAMB		
LEVEL 1												
N-LARGE PATIO-1	6'-0"	7'-8 1/2"	0'-2"	B	VINYL	MATCH EXISTING	VINYL	6/A570	4/A570	5/A570	1,2,3	
N-LARGE PATIO-2	6'-0"	7'-8 1/2"	0'-2"	B	VINYL	MATCH EXISTING	VINYL	6/A570	4/A570	5/A570	1,2,3	
N-LARGE PATIO-3	6'-0"	7'-8 1/2"	0'-2"	B	VINYL	MATCH EXISTING	VINYL	6/A570	4/A570	5/A570	1,2,3	
N-LARGE PATIO-4	6'-0"	7'-8 1/2"	0'-2"	B	VINYL	MATCH EXISTING	VINYL	6/A570	4/A570	5/A570	1,2,3	
LEVEL 2												
N-LARGE BALCONY-1	6'-0"	7'-8 1/2"	0'-2"	B	VINYL	MATCH EXISTING	VINYL	6/A570	4/A570	5/A570	1,2,3	
N-LARGE BALCONY-2	6'-0"	7'-8 1/2"	0'-2"	B	VINYL	MATCH EXISTING	VINYL	6/A570	4/A570	5/A570	1,2,3	
N-LARGE BALCONY-3	6'-0"	7'-8 1/2"	0'-2"	B	VINYL	MATCH EXISTING	VINYL	6/A570	4/A570	5/A570	1,2,3	
N-LARGE BALCONY-4	6'-0"	7'-8 1/2"	0'-2"	B	VINYL	MATCH EXISTING	VINYL	6/A570	4/A570	5/A570	1,2,3	
LEVEL 3												
N-LARGE BALCONY-5	6'-0"	7'-8 1/2"	0'-2"	B	VINYL	MATCH EXISTING	VINYL	6/A570	4/A570	5/A570	1,2,3	
N-LARGE BALCONY-6	6'-0"	7'-8 1/2"	0'-2"	B	VINYL	MATCH EXISTING	VINYL	6/A570	4/A570	5/A570	1,2,3	
N-LARGE BALCONY-7	6'-0"	7'-8 1/2"	0'-2"	B	VINYL	MATCH EXISTING	VINYL	6/A570	4/A570	5/A570	1,2,3	
N-LARGE BALCONY-8	6'-0"	7'-8 1/2"	0'-2"	B	VINYL	MATCH EXISTING	VINYL	6/A570	4/A570	5/A570	1,2,3	

600 DOOR SCHEDULE - BUILDING P												
DOOR #	SIZE			TYPE	DOOR			FRAME TYPE	DETAILS			REMARKS
	W	H	THK		MATERIAL	HDWE	HEAD		SILL	JAMB		
LEVEL 1												
P-LARGE PATIO-1	6'-0"	7'-8 1/2"	0'-2"	B	VINYL	MATCH EXISTING	VINYL	6/A570	4/A570	5/A570	1,2,3	
P-LARGE PATIO-2	6'-0"	7'-8 1/2"	0'-2"	B	VINYL	MATCH EXISTING	VINYL	6/A570	4/A570	5/A570	1,2,3	
P-LARGE PATIO-3	6'-0"	7'-8 1/2"	0'-2"	B	VINYL	MATCH EXISTING	VINYL	6/A570	4/A570	5/A570	1,2,3	
P-LARGE PATIO-4	6'-0"	7'-8 1/2"	0'-2"	B	VINYL	MATCH EXISTING	VINYL	6/A570	4/A570	5/A570	1,2,3	
P-SMALL PATIO-1	6'-0"	7'-8 1/2"	0'-2"	B	VINYL	MATCH EXISTING	VINYL	6/A570	4/A570	5/A570	1,2,3	
P-SMALL PATIO-2	6'-0"	7'-8 1/2"	0'-2"	B	VINYL	MATCH EXISTING	VINYL	6/A570	4/A570	5/A570	1,2,3	
LEVEL 2												
P-LARGE BALCONY-1	6'-0"	7'-8 1/2"	0'-2"	B	VINYL	MATCH EXISTING	VINYL	6/A570	4/A570	5/A570	1,2,3	
P-LARGE BALCONY-2	6'-0"	7'-8 1/2"	0'-2"	B	VINYL	MATCH EXISTING	VINYL	6/A570	4/A570	5/A570	1,2,3	
P-LARGE BALCONY-3	6'-0"	7'-8 1/2"	0'-2"	B	VINYL	MATCH EXISTING	VINYL	6/A570	4/A570	5/A570	1,2,3	
P-LARGE BALCONY-4	6'-0"	7'-8 1/2"	0'-2"	B	VINYL	MATCH EXISTING	VINYL	6/A570	4/A570	5/A570	1,2,3	
P-SMALL BALCONY-1	6'-0"	7'-8 1/2"	0'-2"	B	VINYL	MATCH EXISTING	VINYL	6/A570	4/A570	5/A570	1,2,3	
P-SMALL BALCONY-2	6'-0"	7'-8 1/2"	0'-2"	B	VINYL	MATCH EXISTING	VINYL	6/A570	4/A570	5/A570	1,2,3	
LEVEL 3												
P-LARGE BALCONY-5	6'-0"	7'-8 1/2"	0'-2"	B	VINYL	MATCH EXISTING	VINYL	6/A570	4/A570	5/A570	1,2,3	
P-LARGE BALCONY-6	6'-0"	7'-8 1/2"	0'-2"	B	VINYL	MATCH EXISTING	VINYL	6/A570	4/A570	5/A570	1,2,3	
P-LARGE BALCONY-7	6'-0"	7'-8 1/2"	0'-2"	B	VINYL	MATCH EXISTING	VINYL	6/A570	4/A570	5/A570	1,2,3	
P-LARGE BALCONY-8	6'-0"	7'-8 1/2"	0'-2"	B	VINYL	MATCH EXISTING	VINYL	6/A570	4/A570	5/A570	1,2,3	
P-SMALL BALCONY-3	6'-0"	7'-8 1/2"	0'-2"	B	VINYL	MATCH EXISTING	VINYL	6/A570	4/A570	5/A570	1,2,3	
P-SMALL BALCONY-4	6'-0"	7'-8 1/2"	0'-2"	B	VINYL	MATCH EXISTING	VINYL	6/A570	4/A570	5/A570	1,2,3	

- NOTES:**
1. ALL EXISTING SLIDING DOORS TO REMAIN. REPLACE IN KIND IF EXISTING SLIDING DOORS SHOW EXTENSIVE DAMAGES DURING RESIDING PHASE.
ADD-ALTERNATE-1: PROVIDE NEW SLIDING DOORS.
2. CONTRACTOR TO VERIFY QUANTITIES IN ON PLANS, ELEVATIONS, AND IN FIELD.
3. CONTRACTOR TO VERIFY ALL DIMENSION IN FIELD.
4. (T) PROVIDE TEMPERED GLASS, MATCH EXISTING. PROVIDE TEMPERED GLAZING PER IBC 2406.4.3



600 DOOR TYPES

SCALE: 3/8" = 1'-0"

DIVISION 03: CONCRETE

03 00 00 CONCRETE:

1. FOOTINGS: REFER TO STRUCTURAL DRAWINGS
2. SLAB-ON-GRADE: REFER TO STRUCTURAL DRAWINGS
3. MIX DESIGN STRENGTHS: PER STRUCTURAL.

03 20 00 CONCRETE REINFORCEMENT

1. REFER TO STRUCTURAL NOTES FOR REQUIREMENTS.
2. REINFORCING STEEL PRE STRUCTURAL AT SLAB ON GRADE, CURBS, FOUNDATION WALLS, ETC.
3. PROVIDE SUPPORTS AND ACCESSORIES FOR STEEL REINFORCEMENT.

03 30 00 CAST-IN-PLACE CONCRETE

1. REFER TO STRUCTURAL NOTES FOR REQUIREMENTS.
2. LOCATIONS: ALL CONCRETE EXCEPT EXPOSED SLABS.
3. FINISH:
 - A. LIGHT BROOM FINISH AT ALL AREAS TO RECEIVE HOT RUBBER WATERPROOFING
 - B. BROOM FINISH AT ALL PARKING GARAGES
 - C. RAKED FINISH AT ANY VEHICULAR RAMPS

DIVISION 05: METAL

05 05 00 WELDING

- 1.1 MATERIALS
 - A. SEE INDIVIDUAL REFERENCED SECTIONS FOR METALS TO BE WELDED.
- 1.2 WELDING MATERIALS
 - A. ELECTRODES: TYPE 70XX (REFER TO THE GENERAL STRUCTURAL NOTES ON THE DRAWINGS), OR AS OTHERWISE REQUIRED TO DEVELOP STRENGTH OF PARTICULAR GRADE AND SECTION TO BE WELDED IN ACCORDANCE WITH AWS RECOMMENDATIONS.

05 12 00 STRUCTURAL STEEL FRAMING

- 1.1 STRUCTURAL STEEL
 - A. STRUCTURAL SHAPES, BARS, PLATES: ACCORDING TO THE GENERAL STRUCTURAL NOTES ON THE DRAWINGS.
 1. HOT DIPPED GALVANIZED, PRIMED OR POWDER COATED AS NOTED PER DRAWINGS.
- 1.2 FASTENERS, CONNECTORS, AND ANCHORS
 - A. BOLTS, NUTS, WASHERS, AND CONNECTORS: ACCORDING TO THE GENERAL STRUCTURAL NOTES ON THE DRAWINGS.
- 1.3 WELDING MATERIALS
 - A. WELDING MATERIALS: AWS D1.1; TYPE REQUIRED FOR MATERIALS BEING WELDED.
- 1.4 ACCESSORIES
 - A. GROUT: NON-SHRINK TYPE, PRE-MIXED COMPOUND CONSISTING OF NON-METALLIC AGGREGATE, CEMENT, WATER REDUCING AND PLASTICIZING ADDITIVES, CAPABLE OF DEVELOPING MINIMUM COMPRESSIVE STRENGTH AS INDICATED IN THE GENERAL STRUCTURAL NOTES ON THE DRAWINGS.
 - B. SHOP AND TOUCH-UP PRIMER: SSPC PAINT 15, TYPE 1, RED OXIDE.
- 1.5 FABRICATION
 - A. CONTINUOUSLY SEAL JOINED MEMBERS AS INDICATED ON THE DRAWINGS. GRIND EXPOSED WELDS SMOOTH.
 - B. FABRICATE CONNECTIONS FOR BOLT, NUT, AND WASHER CONNECTORS.
- 1.6 FINISH
 - A. PREPARE STRUCTURAL COMPONENT SURFACES IN ACCORDANCE WITH REFERENCED STANDARDS.
 - B. SHOP PRIME STRUCTURAL STEEL MEMBERS. DO NOT PRIME SURFACES THAT WILL BE FIELD WELDED, IN CONTACT WITH CONCRETE, OR HIGH STRENGTH BOLTED.
- 1.7 SOURCE QUALITY CONTROL AND TESTS
 - A. SECTION 05 00 - QUALITY REQUIREMENTS: TESTING, INSPECTION AND ANALYSIS REQUIREMENTS.
 - B. SHOP TEST BOLTED AND WELDED CONNECTIONS AS SPECIFIED FOR FIELD QUALITY CONTROL TESTS.

05 50 00 METAL FABRICATIONS

1. MATERIALS - STEEL
 - A. STEEL SECTIONS, PLATES, BARS AND OTHER ROLLED SHAPES: REFER TO THE GENERAL STRUCTURAL NOTES ON THE DRAWINGS.
 - B. STEEL PIPE: ASTM A53, TYPE E OR S, GRADE B, SCHEDULE 40.
 - C. BOLTS, NUTS, WASHERS: REFER TO THE GENERAL STRUCTURAL NOTES.
 - D. WELDING MATERIALS: AWS D1.1; TYPE REQUIRED FOR MATERIALS BEING WELDED.
 - E. SHOP AND TOUCH-UP PRIMER: SSPC PAINT 15, TYPE 1, RED OXIDE.
2. FABRICATION
 - A. FIT AND SHOP ASSEMBLE ITEMS IN LARGEST PRACTICAL SECTIONS, FOR DELIVERY TO SITE.
 - B. FABRICATE ITEMS WITH JOINTS TIGHTLY FITTED AND SECURED.
 - C. CONTINUOUSLY SEAL JOINED MEMBERS BY CONTINUOUS WELDS.
 - D. GRIND EXPOSED JOINTS FLUSH AND SMOOTH WITH ADJACENT FINISH SURFACE. MAKE EXPOSED JOINTS BUTT TIGHT, FLUSH, AND HARBLEND EASE EXPOSED EDGES TO SMALL UNIFORM RADIUS.
3. EXPOSED MECHANICAL FASTENERS: FLUSH COUNTERSUNK SCREWS OR BOLTS: UNOBTUSIVELY LOCATED; CONSISTENT WITH DESIGN OF COMPONENT, EXCEPT WHERE SPECIFICALLY NOTED OTHERWISE.
 - A. SUPPLY COMPONENTS REQUIRED FOR ANCHORAGE OF FABRICATIONS: FABRICATE ANCHORS AND RELATED COMPONENTS OF SAME MATERIAL AND FINISH AS FABRICATION, EXCEPT WHERE SPECIFICALLY NOTED OTHERWISE.
4. FACTORY APPLIED FINISHES - STEEL
 - A. CLEAN SURFACES OF RUST, SCALE, GREASE, AND FOREIGN MATTER PRIOR TO FINISHING.
 - B. FACTORY PRIME ALL STEEL ITEMS WITH ONE COAT EXCEPT:
 - C. DO NOT PRIME SURFACES IN DIRECT CONTACT WITH CONCRETE
 - D. DO NOT PRIME SURFACES WHERE FIELD WELDING IS REQUIRED.
 - E. FACTORY PRIME FINISHES TO BE COMPATIBLE WITH FINAL SURFACE FINISHES.
 - F. FOR STEEL FABRICATIONS WITH SITE PAINTING INDICATED ON THE DRAWINGS, REFER TO SECTION 09 00 00 - PAINTING AND COATING.
 - G. POWDER COAT ITEMS INDICATED ON THE DRAWINGS:
 - H. POWDER COATING: FLUOROPOLYMER
 - I. PENCIL HARDNESS: ASTM D 3363; F, MINIMUM.
 - J. SALT SPRAY RESISTANCE: ASTM B 117; 4,000 HOURS.
 - K. HUMIDITY RESISTANCE: ASTM D 2247; 4,000 HOURS.
 - L. DRY FILM THICKNESS: ASTM D1400; 2 MIL MINIMUM THICKNESS.
 - M. COLOR: AS SELECTED FROM MANUFACTURER'S FULL RANGE.
 - N. GLOSS: LOW, LESS THAN 20.
 - O. SURFACE: SMOOTH.
 - P. HOT DIPPED GALVANIZED ITEMS INDICATED ON THE DRAWINGS.
5. FABRICATION TOLERANCES
 - A. SQUARENESS: 1/8" MAXIMUM DIFFERENCE IN DIAGONAL MEASUREMENTS.
 - B. MAXIMUM OFFSET BETWEEN MEMBERS: 1/16"
 - C. MAXIMUM MISALIGNMENT OF ADJACENT MEMBERS: 1/16"
 - D. MAXIMUM BOW: 1/8" IN 48 INCHES.
 - E. MAXIMUM DEVIATION FROM PLANE: 1/16" IN 48 INCHES.

DIVISION 06: WOOD AND PLASTICS

06 05 73 WOOD TREATMENT

1. ALL WOOD EXPOSED TO WEATHER OR RESTING ON OR EMBEDDED IN CONCRETE (INTERIOR OR EXTERIOR) SHALL BE PRESSURE TREATED.
 - A. REFER TO STRUCTURAL FOR TREATMENT REQUIREMENTS AND REQUIREMENTS FOR FASTENERS IN CONTACT WITH PRESSURE TREATMENT.
2. NO ADDED UREA-FORMALDEHYDE.

06 10 00 ROUGH CARPENTRY

1. SHEAR WALLS AND BEARING WALLS REFER TO STRUCTURAL DRAWINGS

06 16 16 SHEATHING

1. ALL EXTERIOR AND ROOF SHEATHING TO BE PLYWOOD; NO OSB ON EXTERIOR OR ROOF SHEATHING.
2. FLOOR SHEATHING TO BE OSB UNLESS OTHERWISE DICTATED BY STRUCTURAL.
3. PLYWOOD SHEATHING FOR ALL EXTERIOR SHEAR WALLS; REFER TO STRUCTURAL DRAWINGS.
4. OSB SHEATHING FOR ALL INTERIOR SHEAR WALLS; REFER TO STRUCTURAL DRAWINGS.
5. PRODUCTS:
 - A. FLOOR SHEATHING - WEYERHAEUSER EDGE GOLD, OR EQUIVALENT.
 - B. ROOF SHEATHING - CDX PLYWOOD
 - C. EXTERIOR WALL SHEATHING - CDX PLYWOOD OR GEORGIA-PACIFIC DENSGLOSS (PLYWOOD IF REQUIRED BY STRUCTURAL, BOTH AS REQUIRED BY STRUCTURAL AND ARCHITECTURAL ASSEMBLIES)
 - D. DENSGLOSS AT AREAS WHERE ROOFING OR FLUID APPLIED WATERPROOFING WILL BE APPLIED TO SHEATHING.

06 16 53 MOISTURE RESISTANT SHEATHING

1. GLASS MAT FACED GYPSUM, TYPE X FIRE-RESISTANT CORE, LONG EDGES, ONE HOUR FIRE RESISTANT RATED FOR EXTERIOR WALLS, WHERE INDICATED.

06 17 13 SHOP-FABRICATED STRUCTURAL WOOD

1. LSL AND PSL BEAMS, RIM BOARDS AND COLUMNS BY WEYERHAEUSER OR EQUIVALENT AS APPROVED BY STRUCTURAL. REFER TO STRUCTURAL DRAWINGS FOR SIZES AND LOCATIONS.
2. HARDWARE RECOMMENDATIONS AND BEARING REQUIREMENTS BY MANUFACTURER.

06 82 00 ARCHITECTURAL FIBERGLASS HANDRAIL AND RAILINGS

1. GLASRAIL STRUCTURAL PULTRUDED FIBERGLASS RAILING SYSTEM.
 - A. ALL POSTS AND TAILS ARE TO BE FRP STRUCTURAL SPARES MANUFACTURED BY THE PULTRUSION PROCESS.
 - B. TOP AND BOTTOM RAILS ARE TO BE 1.75" X 0.125" (44.4MM X 3.2 MM) WALL SQUARE TUBE. THE POSTS ARE TO BE 2.1125" X 0.1875" (53.9 MM X 4.8 MM) WALL SQUARE TUBE AND KICKPLATE IS TO BE 1/2" DEEP AND 4" WIDE WITH TWO REINFORCING RIBS.
 - C. THE COMPLETED HANDRAIL INSTALLATION SHALL MEET THE FOLLOWING LOAD REQUIREMENTS WITH A MINIMUM FACTOR OF SAFETY OF 2.0:
 1. CONCENTRATED LOAD: 200LB (891 N) APPLIED IN ANY DIRECTION AT THE TOP RAIL.
 2. UNIFORM LOAD: 50LB/LF (730.5 N/M) OF THE TOP RAIL IN ANY DIRECTION.
 3. LOADS ARE ASSUMED NOT TO ACT CONCURRENTLY.
 - D. ALL FASTENER USED IN THE RAILING SYSTEM PER MANUFACTURER. SEE STRUCTURAL FOR ADDITIONAL INFORMATION.
3. FINISHES AND COLOR: PREFINISHED - BLACK FINISH FROM STANDARD COLOR LINE

DIVISION 07: THERMAL AND MOISTURE PROTECTION

07 14 00 FLUID-APPLIED WATERPROOFING

1. HOT-APPLIED RUBBERIZED ASPHALT WATERPROOFING.
 - A. AMERICAN HYDROTECH
 - B. CETCO STRATASEAL
2. COLD-APPLIED RUBBERIZED ASPHALT WATERPROOFING.
3. FOUNDATION TO FLOOR EDGE.

07 21 00 THERMAL INSULATION

2. BOARD INSULATION, CLOSED CELL POLYISOCYANURATE AT ROOF - PROVIDE BASE LAYER AND TAPERED FOR SLOPE. REFER TO DRAWINGS FOR R-VALUE REQUIRED AND SLOPE.
3. BATT INSULATION AND VAPOR RETARDER IN EXTERIOR WALL AND CEILING CONSTRUCTION.
4. MINERAL FIBERBOARD INSULATION: RIGID OR SEMI-RIGID MINERAL FIBER. R-VALUE PER DRAWINGS.
5. FIBERGLASS OR MINERAL WOOL BATTS ARE USED, THESE MUST BE FORMALDEHYDE FREE.
6. BATT INSULATION FOR FILLING PERIMETER WINDOW AND DOOR AT STUDS AND CREVICES IN EXTERIOR WALL AND ROOF.
- A. MINERAL FIBERBOARD INSULATION: RIGID OR SEMI-RIGID MINERAL FIBER OR:
 - B. SPRAY FOAM INSULATION: HCFC-BASED SPRAY APPLIED POLYURETHANE FOAM.
7. GLASS FIBER BATT INSULATION: FLEXIBLE PREFORMED BATT OR BLANKET.
8. ACOUSTICAL BATT INSULATION: ASTM C 665; PREFORMED GLASS FIBER BATT.

07 27 00 AIR BARRIERS AND WEATHER RESISTANT BARRIERS

1. BUILDING WRAP WEATHER BARRIER SHEET, MECHANICALLY FASTENED.
 - A. DUPONT TYVEK COMMERCIAL WRAP
2. SELF-ADHERED FLASHING MEMBRANE AT OPENINGS.

07 31 13 ROOF SHINGLES

1. GLASS-FIBER-REINFORCED ASPHALT SHINGLES CERTAINTEED CORPORATION LANDMARK SOLARIS
 - A. FLASHING PER SECTION 07 62 00.
 - B. FASTENERS IN STRICT ACCORDANCE TO MANUFACTURER'S REQUIREMENTS AND RECOMMENDATIONS FOR INSTALLTION. STAPLES USED FOR FASTENING SHINGLES ONLY WITH THE APPROVAL OF THE MANUFACTURER.
5. FABRICATION
 - A. FORM FLASHINGS (TO PROFILES INDICATED ON DRAWINGS, AND) TO PROTECT ROOFING MATERIALS FROM PHYSICAL DAMAGE AND SHED WATER.
 - B. FORM EAVE EDGE (AND GABLE EDGE) FLASHING TO EXTEND MINIMUM 2 INCHES ONTO ROOF AND MINIMUM 1/2" BELOW SHEATHING.
 - C. FORM FLASHING SECTIONS SQUARE AND ACCURATE TO PROFILE, IN MAXIMUM POSSIBLE LENGTHS, FREE FROM DISTORTION OR DEFECTS DETRIMENTAL TO APPEARANCE OR PERFORMANCE.
 - D. HEM EXPOSED EDGES OF FLASHINGS MINIMUM 1/4 INCH ON UNDERSIDE.
 - E. APPLY BITUMINOUS PAINT ON CONCEALED SURFACES OF FLASHINGS.

07 45 00 RAINSCREEN SYSTEM

1. 1/2" X 3-1/2" BORATE TREATED FURRING STRIPS INSTALLED VERTICALLY FOR RAINSCREEN ASSEMBLY.
2. INSECT SCREEN AT ALL RAINSCREEN OPENINGS.
3. REFER TO ATTACHED DOCUMENT FOR SIDING ATTACHMENT INFORMATION.

07 46 46 FIBER-CEMENT SIDING

1. PRIMED, MACHINE FINISHED AND SITE FINISHED SIDING; SITE ASSEMBLED, ON FURRING FOR INSTALLATION OVER SHEATHED WALLS WITH WEATHER BARRIER, JAMES HARDIE PRODUCTS.
 - A. LAP SIDING: INDIVIDUAL HORIZONTAL BOARDS MADE OF CEMENT AND CELLULOSE FIBER FORMED UNDER HIGH PRESSURE WITH INTEGRAL SURFACE TEXTURE, COMPLYING TO ASTM C1186, TYPE A.
 - B. PANEL SIDING: VERTICALLY ORIENTED PANELS MADE OF CEMENT AND CELLULOSE FIBER FORMED UNDER HIGH PRESSURE WITH INTEGRAL SURFACE TEXTURE, COMPLYING TO ASTM C1186, TYPE A.
 - C. BORAL FIBER CEMENT TRIM: 5/4"x4", 5/8", X7-1/4" TRIM AT OPENINGS AND CORNICE PER ARCHITECTURAL DETAILS.
2. PROVIDE SOFFIT VENTING AND SCREEN AT BOTTOM OF DECK/BALCONIES' SOFFIT.
3. LOUVERS: GREENHECK ESD-403, RUSKIN, WONDER METAL OR APPROVED EQUAL WITH BIRDSCREEN, STATIONARY, DRAINABLE BLADE
4. WALL CAP (ROUND/RECTANGULAR): ALUMINUM CONSTRUCTION, ALUMINUM FINISH, BUILT IN BIRDSCREEN WITH DAMPERS. GREENHECK WC OR APPROVED EQUAL.
5. SALVAGE EXISTING SIGNAGE AND REINSTALL AT SAME LOCATIONS.

07 52 00 PVC MEMBRANE ROOFING

1. REPLACE EXISTING ROOFING MEMBRANE WITH NEW PVC MEMBRANE ROOFING WITH APPROVED MANUFACTURERS OR EQUIVALENT:
 - A. APPROVED MANUFACTURERS:
 - A. VERSICO'S LANDMARK 60 MIL PVC
 - B. MULE HYDE 60 MIL
 - C. DURA LAST DURA TUFF 60 MIL
 - D. SARNAFIL G410 60 MIL
3. WARRANTY:
 - A. PROVIDE MANUFACTURER'S 20 YEARS TOTAL SYSTEM WARRANTY.
 - B. HEAT SEALED PVC SYSTEMS, WITH 5 YEARS MINIMUM EXPERIENCE FACTOR WITH THE SPECIFIC PRODUCTS.
 - C. PROVIDE ALL PARTS, COMPONENTS, AND HARDWARE TO CONSTITUTE A COMPLETE INSTALLATION.
 - D. COMPLY WITH THE MANUFACTURER'S PUBLISHED INSTRUCTIONS FOR THE INSTALLATION OF THE MEMBRAND ROOFING SYSTEM INCLUDING PROPER SUBSTRATE PREPARATION, JOB SITE CONSIDERATIONS AND WEATHER RESTRICTIONS.

07 62 00 SHEET METAL FLASHINGS AND TRIMS

1. GALVANIZED STEEL: ASTM A653/A653M, WITH G90/Z275 ZINC COATING; MINIMUM 24 GAGE, (0.0239 INCH) THICK BASE METAL.
2. PRE-FINISHED GALVANIZED STEEL: ASTM A653/A653M, WITH G90/Z275 ZINC COATING; MINIMUM 24 GAGE, (0.0239) INCH THICK BASE METAL. SHOP PRE-COATED WITH PVDF COATING.
 - A. PVDF (POLYVINYLIDENE FLUORIDE) COATING: SUPERIOR PERFORMANCE ORGANIC FINISH, AAMA 2606; MULTIPLE COATS; THERMALLY CURED FLUOROPOLYMER FINISH SYSTEM.
3. PRE-FINISHED ALUMINUM: ASTM B209 (ASTM B209M), 20 GAUGE, (0.032 INCH) THICK; PLAIN FINISH SHOP PRE-COATED WITH MODIFIED SILICONE COATING.
 - A. FLUOROPOLYMER COATING: HIGH PERFORMANCE ORGANIC FINISH, AAMA 2604; MULTIPLE COATS, THERMALLY CURED FLUOROPOLYMER FINISH SYSTEM.

07 65 26 SELF-ADHERING SHEET FLASHING

1. AT ALL EXTERIOR OPENINGS.
2. HIGH TEMPERATURE AT ROOF PARAPET AND OVERHANG APPLICATIONS.
 - A. MANUFACTURERS: SOPREMA'S LASTOBOND HT AT ROOFING; PROTECTO WRAP JIFFY SEAL BUTYL HT AT WALLS, 1100T OR GCP TWF AT THROUGH-WALL FLASHINGS UNDER BRICK, OR APPROVED EQUAL.
 - B. VERIFY COMPATIBILITY WITH ADJACENT PRODUCTS.

07 71 23 MANUFACTURED GUTTERS AND DOWNSPOUTS

1. GUTTERS: PREFINISHED SHEET METAL, SMACNA PROFILE
2. DOWNSPOUTS: PREFINISHED SHEET METAL; 3" ROUND FABRICATED TO SMACNA STANDARDS.
3. CONNECTORS: SAME MATERIAL AS GUTTER AND DOWNSPOUT; COLOR: BLACK. SPIKES AND FERRULES FOR GUTTER SUPPORT; STRAPS FOR DOWNSPOUT SUPPORTS.
4. PARAPET DRAIN COVER SCUPPER: ZURN Z187 OBLIQUE SCUPPER DRAIN. AT EXISTING ROOF PARAPET DRAIN TO DOWNSPOUTS AND OVERFLOW.
5. COLOR: PREFINISHED - BLACK

07 90 00 JOINT PROTECTION

1. EXTERIOR JOINTS: SEAL OPEN JOINTS, WHETHER OR NOT THE JOINT IS INDICATED ON DRAWINGS, UNLESS SPECIFICALLY INDICATED NOT TO BE SEALED. EXTERIOR JOINTS TO BE SEALED INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING ITEMS:
 - A. WALL EXPANSION AND CONTROL JOINTS.
 - B. JOINTS BETWEEN DOOR, WINDOW, AND OTHER FRAMES AND ADJACENT CONSTRUCTION.
 - C. JOINTS BETWEEN DIFFERENT EXPOSED MATERIALS.
 - D. OPENINGS BELOW LEDGE ANGLES IN MASONRY.
 - E. OTHER JOINTS INDICATED BELOW.

2. DO NOT SEAL THE FOLLOWING TYPES OF JOINTS.

- A. JOINTS INDICATED TO BE TREATED WITH MANUFACTURED EXPANSION JOINT COVER OR SOME OTHER TYPE OF SEALING DEVICE.
- B. JOINTS WHERE SEALANT IS SPECIFIED TO BE PROVIDED BY MANUFACTURER OF PRODUCT TO BE SEALED.
- C. JOINTS WHERE INSTALLATION OF SEALANT IS SPECIFIED IN ANOTHER SECTION.
- D. JOINTS BETWEEN SUSPENDED PANEL CEILINGS/GRID AND WALLS.
- E. JOINTS AT TOP OF HEAD FLASHING USED IN RAINSCREEN APPLICATIONS OR INDICATED AS A DRAINAGE APPLICATION.

3. SOUND-RATED ASSEMBLIES: WALLS AND CEILINGS IDENTIFIED AS "STC-RATED", "SOUND-RATED", OR "ACOUSTICAL"

4. ACCESSORIES: BACKER RODS, BI-CELLULAR BY NOMACO OR TITAN.

5. PRODUCTS:

- A. DOWSL 758 FOR AIR SEALING;
- B. DOWSL 795 FOR METAL OR OTHER NON-POROUS SUBSTRATES;
- C. DOWSL 795 FOR MIXED SUBSTRATES;
- D. BASF MS 150 FOR PAINTABLE STPE AT CLADDING.

DIVISION 8: DOORS & WINDOWS

EXISTING DOORS AND WINDOWS TO REMAIN. REPLACE DAMAGED WINDOWS IF DEEMED NECESSARY. SEE WINDOW SCHEDULE FOR ADDITIONAL INFORMATION.

ADD-ALTERNATE 1: PROVIDE NEW EXTERIOR WINDOWS AND NEW EXTERIOR SLIDING DOOR TO BUILDING N & BUILDING P.

1.1 VINYL WINDOWS

1. MANUFACTURER: PLY GEM WINDOWS, CARY, NC (WITH OFFICES IN AUBURN, WA)
2. OTHER MANUFACTURERS ACCEPTED: VPI QUALITY WINDOWS, SPOKANE, WA;
3. PRODUCT DESCRIPTION:
 - A. WINDOW TYPES: PLY GEM, HOLLOW TUBULAR ULTRA-VIOLET RESISTANT POLYVINYL CHLORIDE (PVC) WINDOW FRAMES WITH WELDED CORNER CONSTRUCTION. CONFIGURATIONS OF SASH AS SCHEDULED ON THE DRAWINGS.
 - B. ALL UNITS TO BE NFRC RATED.

1.2 VINYL SLIDING PATIO DOOR

1. MANUFACTURER: PLY GEM WINDOWS, CARY, NC (WITH OFFICES IN AUBURN, WA)
2. OTHER MANUFACTURERS ACCEPTED: VPI QUALITY WINDOWS, SPOKANE, WA;
3. PRODUCT DESCRIPTION: PLY GEM PRO SERIES 960 SLIDING PATIO DOOR, HOLLOW TUBULAR ULTRA-VIOLET RESISTANT POLYVINYL CHLORIDE (PVC) WINDOW FRAMES WITH WELDED CORNER CONSTRUCTION. CONFIGURATIONS OF FIXED AND OPERABLE SASH AS SCHEDULED ON THE DRAWINGS.
4. ALL UNITS TO BE NFRC RATED.

1.3 COMPONENTS

- A. MINIMUM ENERGY CONSERVATION REQUIREMENTS: U-VALUE 0.26 OR BETTER FOR ENTIRE UNIT.
- B. INSULATING GLASS: HPP2+ SEALED DOUBLE PANE UNITS, 3/4" INCH THICK, LOW-E ARGON FILLED, CONFORMING TO THE FOLLOWING:
 1. OUTER PANE: CLEAR, LOW-E COATING, FLOAT GLASS, ASTM C1036, QUALITY 1.
 2. INNER PANE: CLEAR FLOAT GLASS, INTERIOR SURFACE LOW-E, ASTM C1036, QUALITY 1.
 3. TEMPERED: CLEAR, ASTM C 1048.
 4. PANE THICKNESS: 1/2"
 5. U-VALUE: CENTER OF GLASS: 0.26 (SUMMER DAYTIME) AND 0.28 (WINTER NIGHT TIME).
 6. SOLAR HEAT GAIN COEFFICIENT (SHGC): 0.27.
 7. VISIBLE LIGHT TRANSMITTANCE: 64%.
- C. LOCATIONS: ALL IDENTIFIED ON THE WINDOW SCHEDULE(S).
- D. WINDOW FRAME: EXTRUDED MULTI-CHAMBERED PVC FRAME WITH INTEGRAL ULTRA-VIOLET DEGRADATION RESISTANCE, CONTINUOUS INTEGRAL NAILING FIN, DEPTH 3-7/16 INCHES; NOMINAL WALL THICKNESS 0.050 TO 0.080 INCHES; CORNERS MITERED AND HEAT WELDED.
- E. WINDOW HARDWARE: SASH LOCK: LEVER HANDLE WITH CAM LOCK. INSTALL AT FACTORY. STANDARD CRANK HANDLES FOR CASEMENT WINDOWS, STANDARD HANDLE FOR AWNING WINDOWS. LOCATE HARDWARE WITHIN 48-INCHES OF FINISHED FLOOR.
- F. WINDOW SILL: TUBULAR FOR POSITIVE STOP; ONE-Piece FULL WIDTH OF OPENING.
- G. OPERABLE SASH WEATHER STRIPPING: MANUFACTURER'S STANDARD; PERMANENTLY RESILIENT, PREFERRED TO EFFECT WEATHER SEAL.
- G. PATIO DOOR FRAME: EXTRUDED MULTI-CHAMBERED PVC FRAME WITH INTEGRAL ULTRA-VIOLET DEGRADATION RESISTANCE, CONTINUOUS INTEGRAL NAILING FIN, DEPTH 4-3/8 INCHES; NOMINAL WALL THICKNESS 0.050 TO 0.080 INCHES; CORNERS MITERED AND FUSION WELDED.
- H. PATIO DOOR HARDWARE: SMOOTH GLIDING ROLLERS; TWO-POINT LOCK WITH ADJUSTABLE STRIKE. ANODIZED ALUMINUM THRESHOLD COVER.
- I. COLOR: WHITE PVC FRAME AND HARDWARE.
- J. INSECT SCREEN: TUBULAR, MANUFACTURER'S STANDARD FRAME OF RECTANGULAR SECTIONS; NOMINAL SIZE SIMILAR TO OPERABLE GLAZED UNIT.
- K. INSECT SCREENS: GRAY COLOR.

1.4 ACCESSORIES

- A. FASTENERS AND ANCHORS: MANUFACTURER'S STANDARD.

1.5 FABRICATION

- A. INTEGRAL NAIL FLANGE.
- B. UNITS TO BE FACTORY ASSEMBLED AND GLAZED.

DIVISION 9: FINISHES

09 00 00 PAINTING & COATINGS

1. COATING FOR WATERPROOFING AND TRAFFIC SURFACE AT EXTERIOR DECKS/BALCONIES L2 & L3.
2. HEAVY DUTY PRIMA: COATING FOR VEHICULAR TRAFFIC; SOPREMA ALSAN OR APPROVED EQUAL.
3. TRAFFIC COATING: ARMORTHANE SFS-300 RIMMING SYSTEM FOR CONCRETE.
4. CLEAN AND ETCH CHEMICAL COATINGS, PRIMER AND PAINT AT GALVANIZED STEEL COLUMNS AND BEAMS AT EXTERIOR DECKS/BALCONIES.

09 91 13 EXTERIOR PAINTING

1. PROVIDE PAINTS AND FINISHES FROM THE SAME MANUFACTURER TO THE GREATEST EXTENT POSSIBLE.
2. EXTERIOR CONCRETE.
 - A. ELASTOMERIC COATING AT ALL EXPOSED VERTICAL SURFACES.
3. WOOD: OPAQUE, LATEX, 3 COAT:
 - A. ONE COAT OF LATEX PRIMER SEALER.
 - B. SEMI-GLOSS: TWO COATS OF LATEX ENAMEL.
 - C. FIBER CEMENT SIDING:
 - A. APPLICATIONS INCLUDE WALLS AND SOFFITS.
 - B. ONE COAT PRIMER AND TWO TOP COAT: TWO COATS.
4. WOOD: SEMI-TRANSPARENT STAIN: TWO COATS OF STAIN.
5. FERROUS METALS, PRIMED, ALKYD, 2 COAT:
 - A. TOUCH-UP WITH RUST-INHIBITIVE PRIMER RECOMMENDED BY TOP COAT MANUFACTURER.
 - B. ONE COAT METAL PRIMER.
 - C. SEMI-GLOSS: TWO COATS OF ALKYD ENAMEL.
6. GALVANIZED METALS, ALKYD, 3 COAT:
 - A. ONE COAT PRIMER/FINISH.
 - B. SEMI-GLOSS: TWO COATS OF ALKYD ENAMEL.
8. PRIME AND PAINT GALVANIZED METALS
 1. CLEAN-N-ETCH: APPLY CLEAN-N-ETCH SOLUTION TO REMOVE THE CHEMICAL PASSIVATOR USED DURING THE GALVANIZING PROCESS.
 2. PRO INDUSTRIAL PRO-CRYL UNIVERSAL PRIMER: 866-1300 SERIES
 3. SHERCRYL: 2 TOPCOATS OF SHERCRYL HPA SEMI-GLOSS, BLACK
 4. ANY RUST/RUST SPOTTING SHALL BE COORDINATED/ADDRESSED PRIOR TO COATING THE BEAMS AND POSTS.
9. ALL EXTERIOR PAINTING SHALL BE COORDINATED WITH THE ARCHITECT'S PRIOR TO PROCEEDING.
9. SEE ELEVATIONS FOR COLORS.

DIVISION 10: SPECIALTIES

10 60 00 SPECIALTIES

- 1.1 EXTERIOR SPECIALTIES, MANUFACTURERS AND MODEL NUMBERS
 - A. WOOD SLAT PRIVACY SCREEN: LOCATIONS AND NUMBERS SHOWN ON DRAWINGS.
 - B. FIELD FABRICATE PER DETAILS SHOWN ON DRAWINGS
 - C. OTHER MANUFACTURER ACCEPTED: ENCL0 TIAGA SLATTED WOOD SURFACE MOUNTED PRIVACY SCREEN.
 1. 36"W X 73.5" H PANEL.
 2. DECK MOUNT: INCLUDE MANUF.'S HARDWARE FOR DECK MOUNT, 1/4" LAG SCREWS 3" LENGTH (4) 2 1/4" LENGTH (4)
 3. PATIO MOUNT: INCLUDE MANUF.'S HARDWARE FOR PATIO MOUNT, 1/4" CONCRETE WEDGE ANCHOR
 4. HTS://ENCL0SCREENS.COM/PRODUCT/TIAGA-SLATTED-WOOD-FREESTANDING-OR-SURFACE-MOUNTED-PRIVACY-SCREEN-KIT-PANEL-735X14X76IN-WA488141M



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CASCADIAN APARTMENTS

BUILDING N
15267 NE 12TH ST.
BELLEVUE, WA 98007



REVISIONS / NOTES

NO	DATE	DESCRIPTION
1	04/23/22	PERMIT SET
2	04/27/23	CORRECTIONS 1
3	04/27/23	DESIGN CHANGE 2
4	07/26/23	CORRECTIONS 2(BID
5	02/23/24	ADDENDUM 1

AHJ STAMP

TITLE

OUTLINE SPECIFICATIONS



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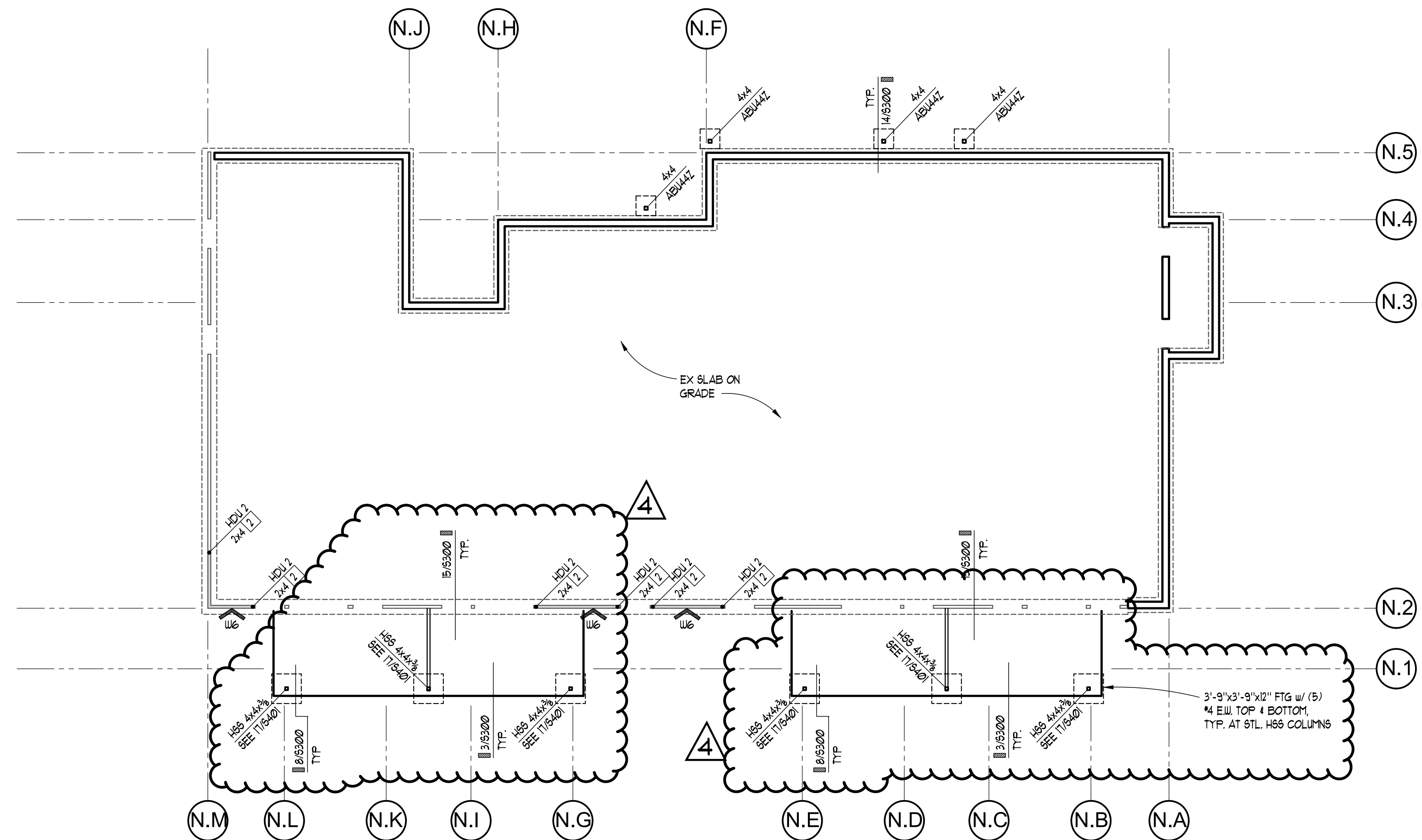


CASCADIAN APARTMENTS
VOLUNTARY PARTIAL
SEISMIC UPGRADE

BUILDINGS N & P
15264-5267 NE 12TH ST.
BELLEVUE, WA 98007



REVISIONS / NOTES		
NO	DATE	DESCRIPTION
	11/23/22	PERMIT SET
1	04/27/23	CORRECTIONS 1
2	04/27/23	DESIGN CHANGE 2
3	07/07/23	CORRECTIONS 2
4	02/23/24	ADDENDUM #1



PLAN NOTES

- SEE 11/6300 FOR REBAR BENDING SCHEDULE
- SEE 16/6300 FOR TYPICAL ANCHOR BOLT SIZE AND EMBEDMENT
- INDICATES SHEAR WALL PER SHEAR WALL SCHEDULE 10/5400. REMOVE EXISTING GYPSUM SHEATHING & INSTALL NEW SHEARWALL SHEATHING DIRECTLY ON EXISTING STUDS, TYPICAL.
- INDICATES SIMPSON HOLDOWN OR OTHER REQUIREMENT PER PLAN
- INDICATES THE NUMBER OF END STUDS OR BEARING STUDS REQUIRED AT END OF WALL. PROVIDE MIN (2) BEARING STUDS BELOW ALL BEAMS AND HEADERS, AND TWO FULL HEIGHT STUDS AT END OF ALL SHEAR WALLS. INSTALL STUDPACKS & HOLDOWNS AFTER EXISTING SHEATHING IS REMOVED.
- SEE 6/6300 FOR REINFORCING AND SPLICE SCHEDULE
- SEE 19/6300 FOR SECTION AT HOLDOWNS TO EX CONCRETE FOUNDATION WALL
- INDICATES NEW POST AND PAD FOOTING.
- INDICATES EX WALL AND FOOTING. EXISTING WALL SHEATHING CONSISTS OF 1/2" GYPSUM SHEATHING. REMOVE EXISTING GYP SHEATHING PER NOTE 3.
- INDICATES HSS COLUMN PER 16 / 19/6500.
- SEE 10/6300 FOR CONNECTION OF NEW FOOTING TO EX ADJACENT FOUNDATION.

1 FOUNDATION & LEVEL 1 FLOOR PLAN
SCALE: 1/8" = 1'-0"
0 8' 16'

AHJ STAMP

TITLE

BUILDING N

FOUNDATION
AND FIRST
FLOOR PLAN

PERMIT #

DRAWN KMH

CHECKED VM

ISSUE DATE 07/07/23

JOB NO. 22034

SHEET NO.:

N-S200



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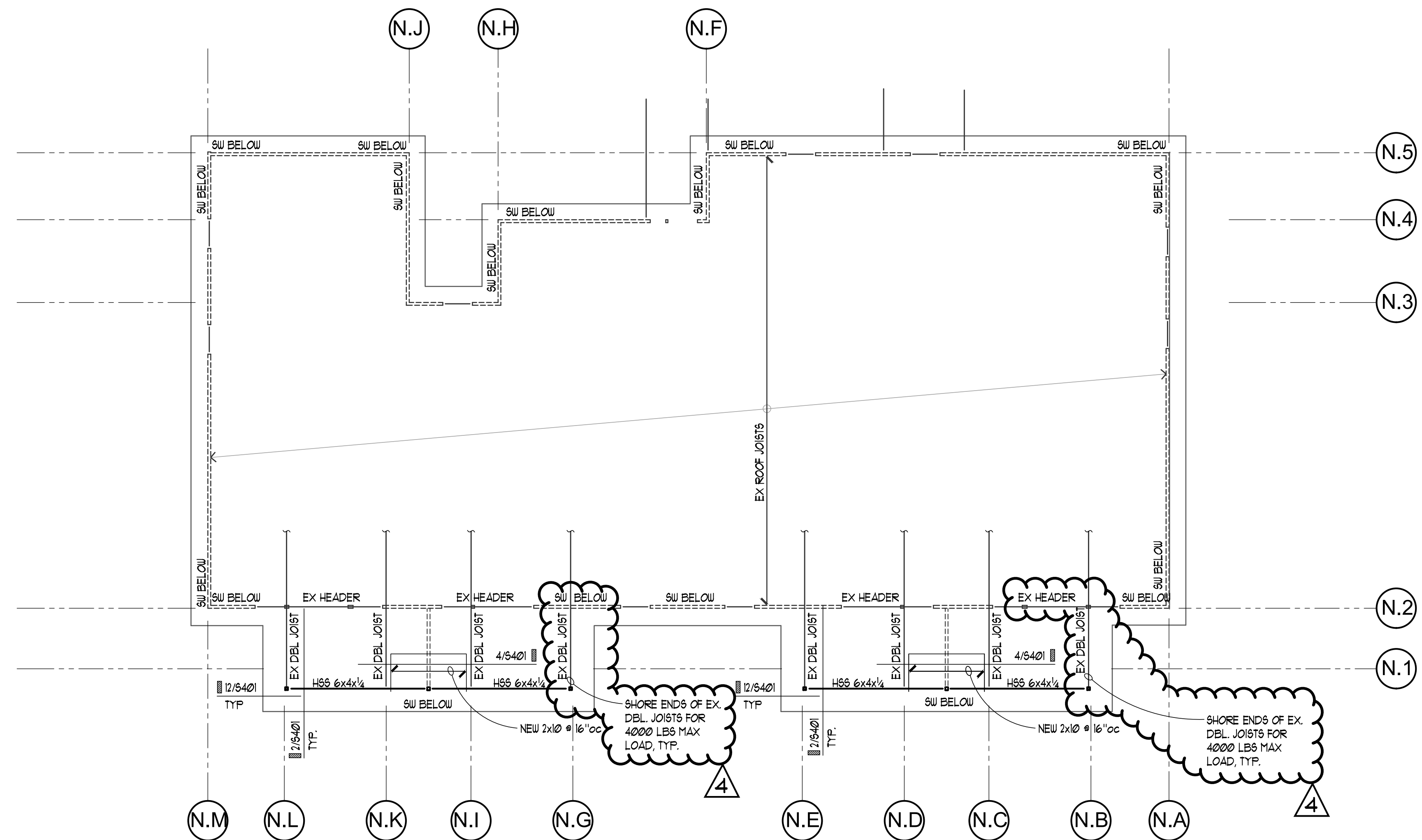


CASCADIAN APARTMENTS
VOLUNTARY PARTIAL SEISMIC UPGRADE

BUILDINGS N & P
15264-5267 NE 12TH ST.
BELLEVUE, WA 98007



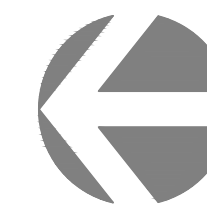
REVISIONS / NOTES		
NO	DATE	DESCRIPTION
	11/23/22	PERMIT SET
1	04/27/23	CORRECTIONS 1
2	04/27/23	DESIGN CHANGE 2
3	07/07/23	CORRECTIONS 2
4	02/23/24	ADDENDUM #1



PLAN NOTES

- NEW ROOF DIAPHRAGM IS TO BE 5/8" CDX PLYWOOD w/ MIN PANEL INDEX OF 32/16, NAILED WITH 10d AT:
6"oc AT ALL DIAPHRAGM BOUNDARIES AND SHEAR WALLS
6"oc AT ALL SUPPORTED PANEL EDGES
6"oc AT FIELD
- INDICATES WALL BELOW. SEE 520 4 10/8x40 FOR SHEAR WALL LOCATIONS
- INDICATES BEAM OR HEADER PER PLAN. PROVIDE MIN (2) END STUDS TO SUPPORT NEW BEAMS AND HEADERS
- ↔ INDICATES FRAMING DIRECTION AND EXTENTS.
- SEE ARCHITECTURAL PLANS FOR ROOF SLOPES AND ELEVATIONS. ALL FINAL ROOF HEIGHTS ARE PER ARCHITECTURAL DRAWINGS.
- SEE 1/8x400 FOR HANGER SCHEDULE
- SEE 2/8x400 FOR TOP PLATE SPLICE DETAIL.
- SEE 3/8x400 FOR ALLOWABLE HOLES AND NOTCHES IN STUDS.
- SEE 8/8x400 FOR TYPICAL HEADER PLACEMENT.
- SEE 20/8x400 FOR TYPICAL WALL FRAMING.

1 ROOF FRAMING PLAN
SCALE: 1/8" = 1'-0"



10/20/2022 11:02:58 AM

AHJ STAMP

TITLE

BUILDING N

ROOF FRAMING
PLAN

PERMIT #

DRAWN KMH

CHECKED VM

ISSUE DATE 07/07/23

JOB NO. 22034

SHEET NO.:

N-S203

REINFORCING SPLICE AND DEVELOPMENT LENGTH SCHEDULE

(For Grade 60, Uncoated Bars, Normal Weight Concrete)

I MINIMUM STRAIGHT DEVELOPMENT LENGTH (l_d)

BAR SIZE	$f'c = 3000$ PSI	
	TOP BARS	OTHER BARS
#3	22"	17"
#4	29"	22"
#5	37"	28"
#6	44"	33"

* "TOP BARS" ARE HORIZONTAL BARS WITH MORE THAN 12" DEPTH OF CONCRETE CAST BELOW THEM. IF CLEAR CONCRETE COVER IS NOT GREATER THAN THE DIAMETER OF THE BAR OR THE CENTER TO CENTER SPACING IS NOT GREATER THAN 3 BAR DIAMETERS, THEN VALUES SHALL BE INCREASED BY 43%.

II MINIMUM LAP SPLICE LENGTHS (l_s)

BAR SIZE	$f'c = 3000$ PSI	
	TOP BARS	OTHER BARS
#3	29"	21"
#4	38"	27"
#5	48"	34"
#6	58"	41"

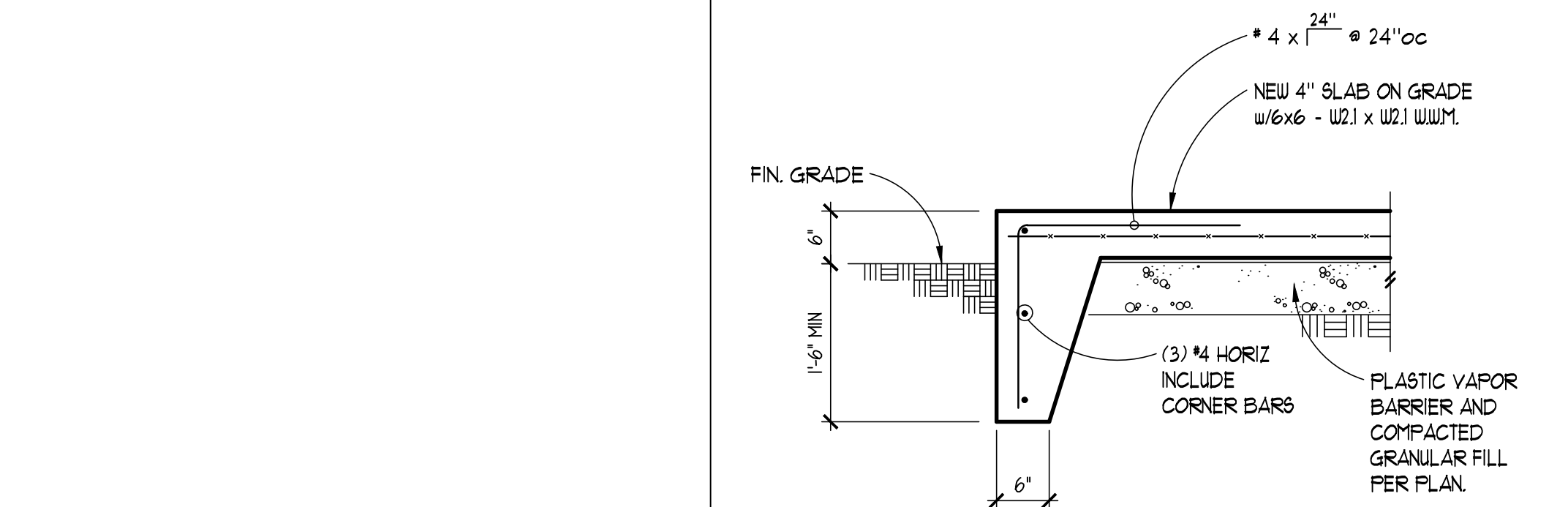
SPLICES IN HORIZONTAL REINFORCING SHALL NOT OCCUR IN BOTH CURTAINS OF REINFORCING AT THE SAME LOCATION.

III MINIMUM EMBEDMENT LENGTHS (l_{dn}) FOR STANDARD END HOOKS

A. for general uses:

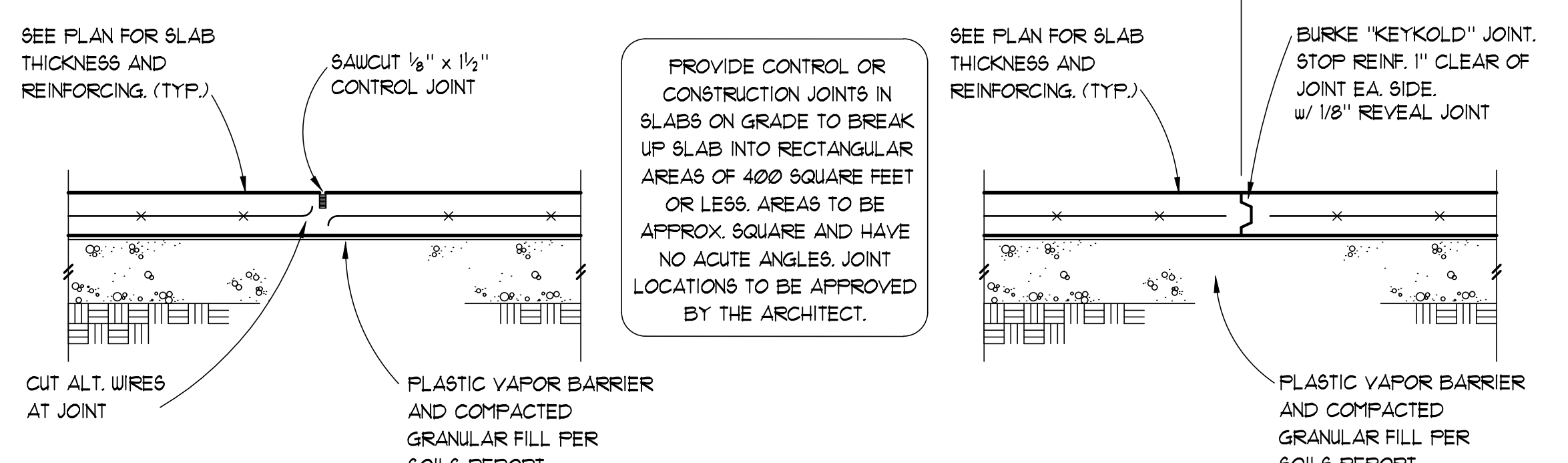
BAR SIZE	$f'c = 3000$ PSI
#3	7"
#4	9"
#5	11"
#6	13"

- SIDE COVER MUST BE EQUAL TO OR GREATER THAN $2\frac{1}{2}$ ".
- END COVER FOR 90° HOOKS MUST BE EQUAL TO OR GREATER THAN 2".
- 90° HOOKS ONLY



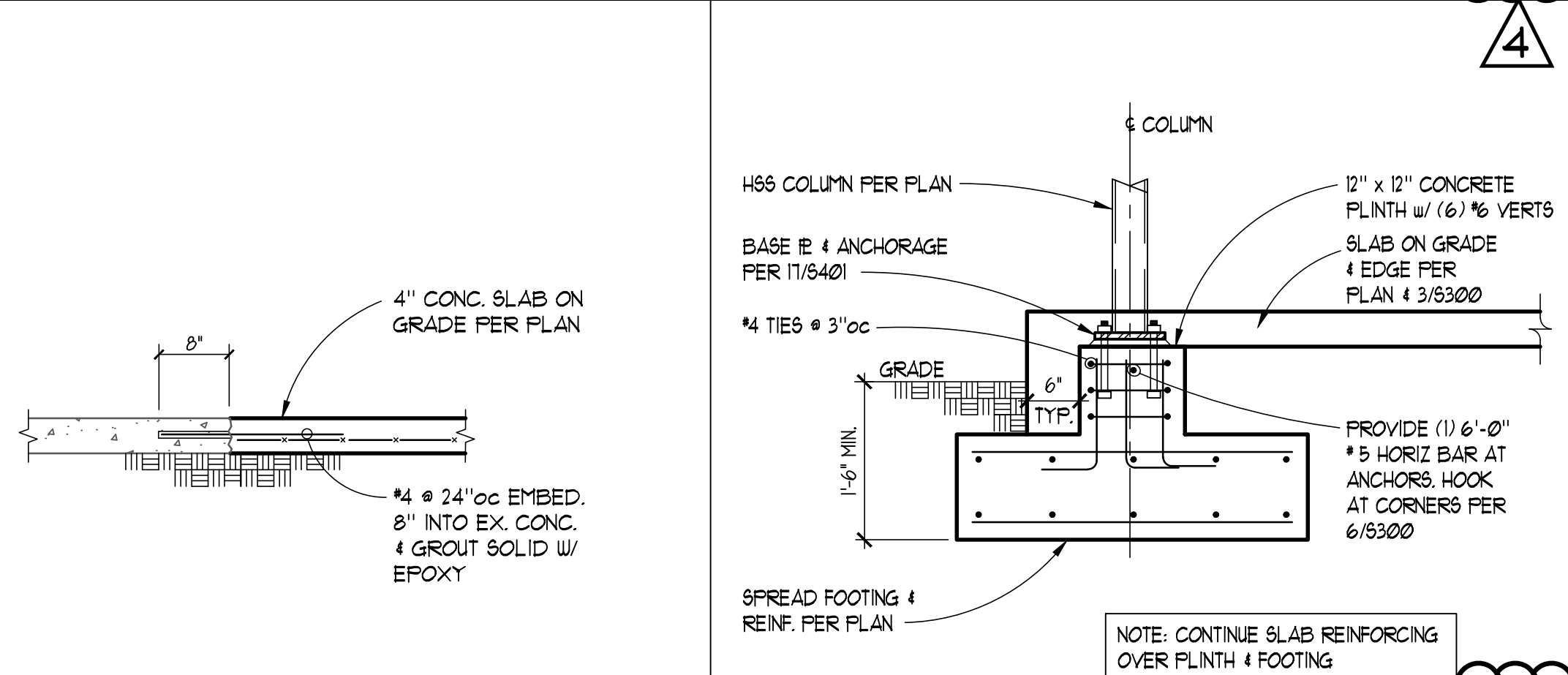
TYPICAL TURNED DOWN SLAB EDGE

2



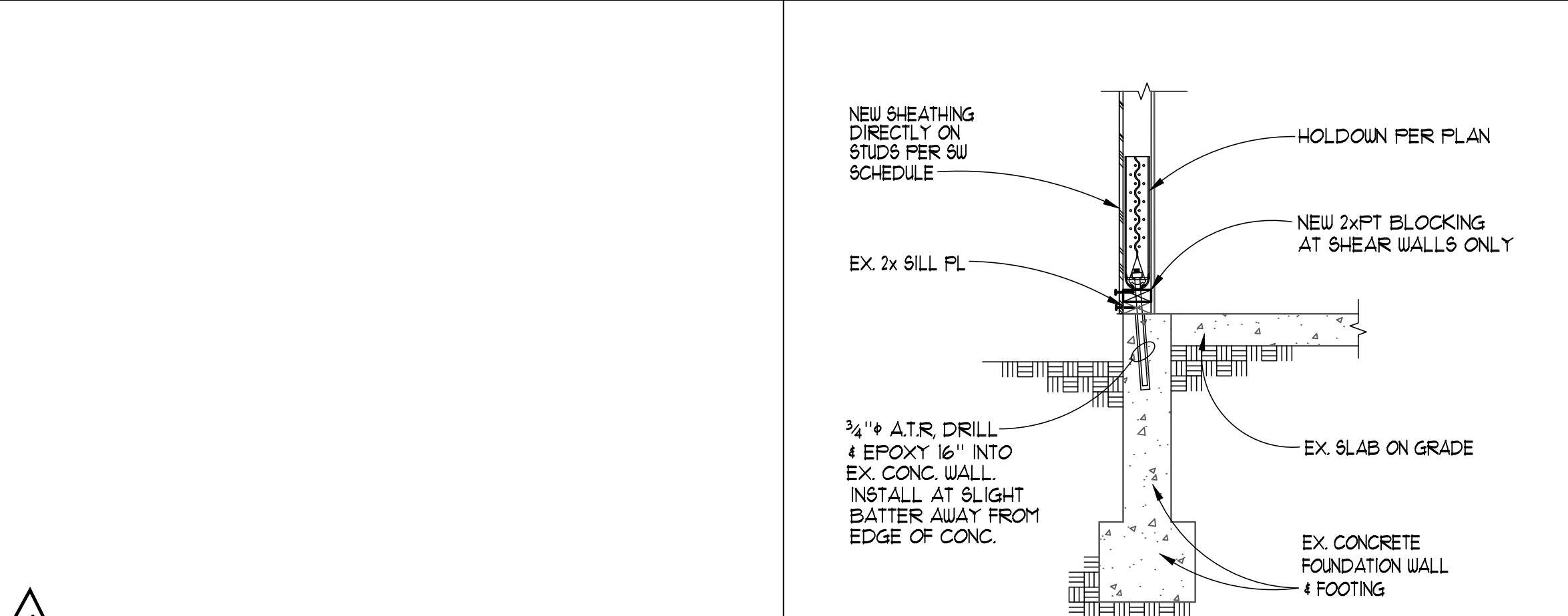
TYPICAL SLAB ON GRADE JOINTS

5



NEW TO EX SLAB CONNECTION

7



9

10

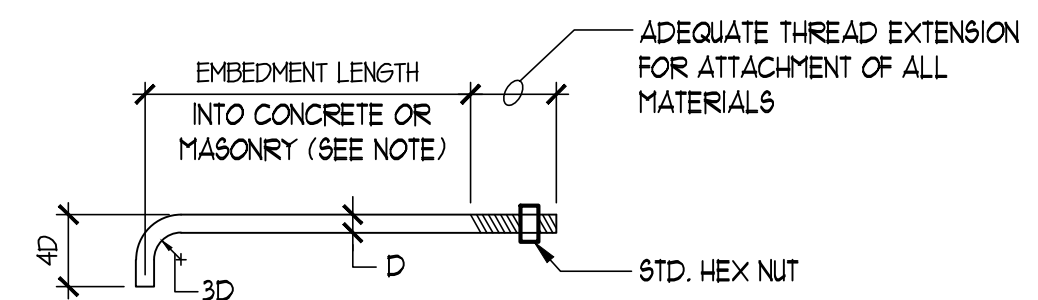
HOLDOWN ANCHOR SCHEDULE

CALLOUT	AB. SIZE	CAPACITY (Klbs)
HDU2	3/8" AB.	2.62
HDU4	1/2" AB.	4.13
HDU5	5/8" AB.	5.43
HDU8	3/4" AB.	8.35
HDU11	1" AB.	11.21

HOLDOWNS SPECIFIED ON PLANS ARE MANUFACTURED BY SIMPSON STRONG TIE, INC. UNLESS OTHERWISE NOTED. CAPACITIES ARE BASED ON THE MOST RECENT CATALOGUE AND ICC REPORTS FOR THE MODELS LISTED.

ALTERNATE HOLDOWN ANCHORS MAY BE SUBSTITUTED AT THE CONTRACTOR OR OWNER'S OPTION, PROVIDED THEY ARE APPROVED BY THE ENGINEER OF RECORD AND HAVE A CURRENT ICC REPORT STATING THEIR CAPACITY MEETS OR EXCEEDS THE DESIGN CAPACITY LISTED ABOVE.

DESIGN CAPACITIES ARE BASED ON Douglas Fir FRAMING LUMBER AS STATED IN THE GENERAL STRUCTURAL NOTES. SUBSTITUTING ALTERNATE LUMBER GRADES MAY CAUSE HOLDOWNS AND THEIR CONNECTIONS TO FAIL AT LOWER CAPACITIES THAN THOSE DESIGNED FOR.

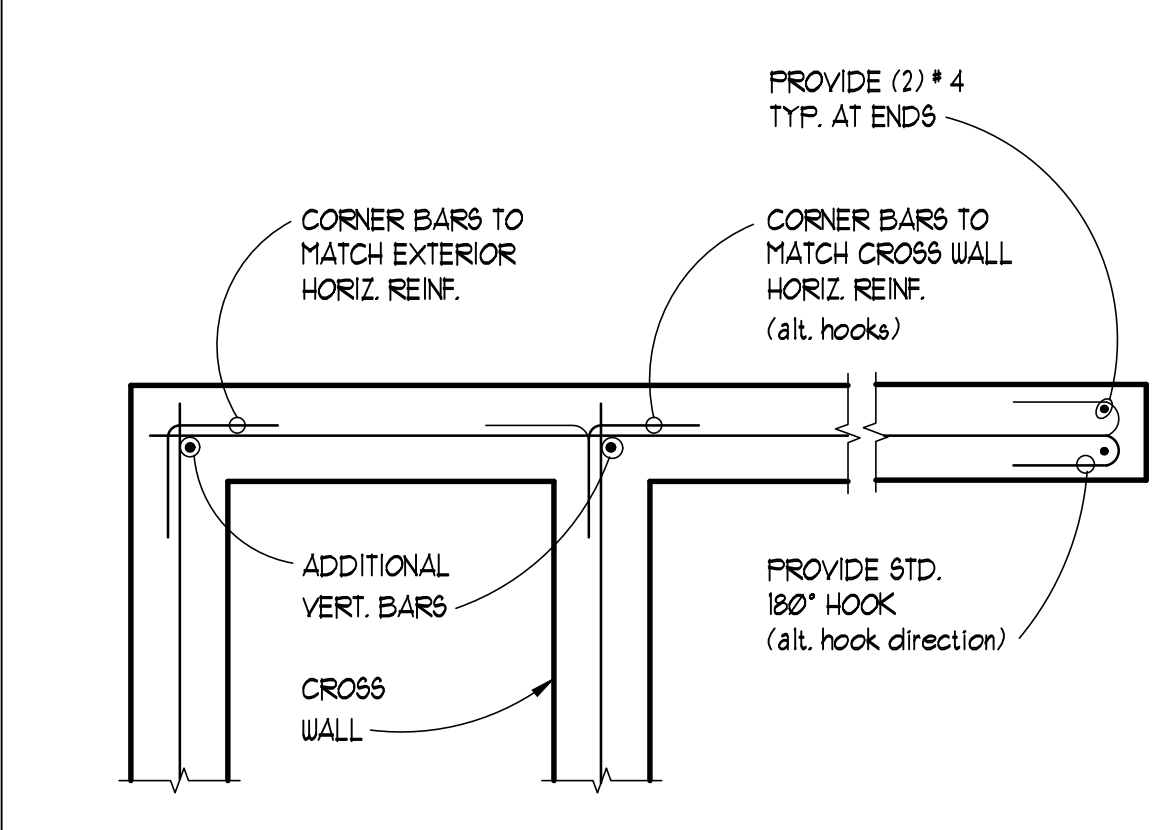


BOLT DIA. 'D'	MINIMUM EMBEDMENT	
	ANCHOR BOLTS IN HORIZ. SURFACE	ANCHOR BOLTS IN VERT. SURFACE
1/2"	5"	7"
3/8"	5"	7"
3/4"	5"	7"

NOTE: ANCHOR BOLT EMBEDMENT IN VERTICAL SURFACE APPLIES TO CONCRETE ONLY.

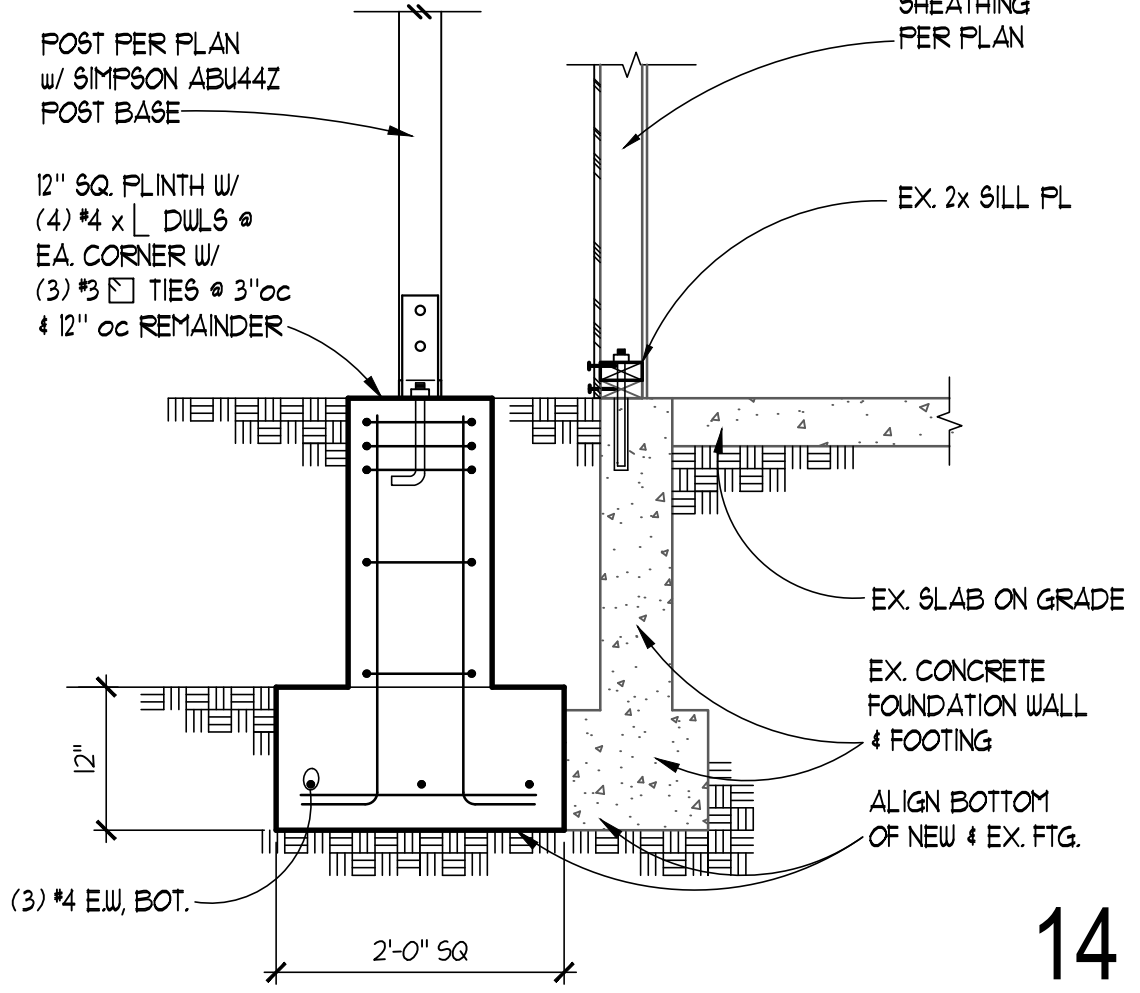
TYP. ANCHOR BOLT

11

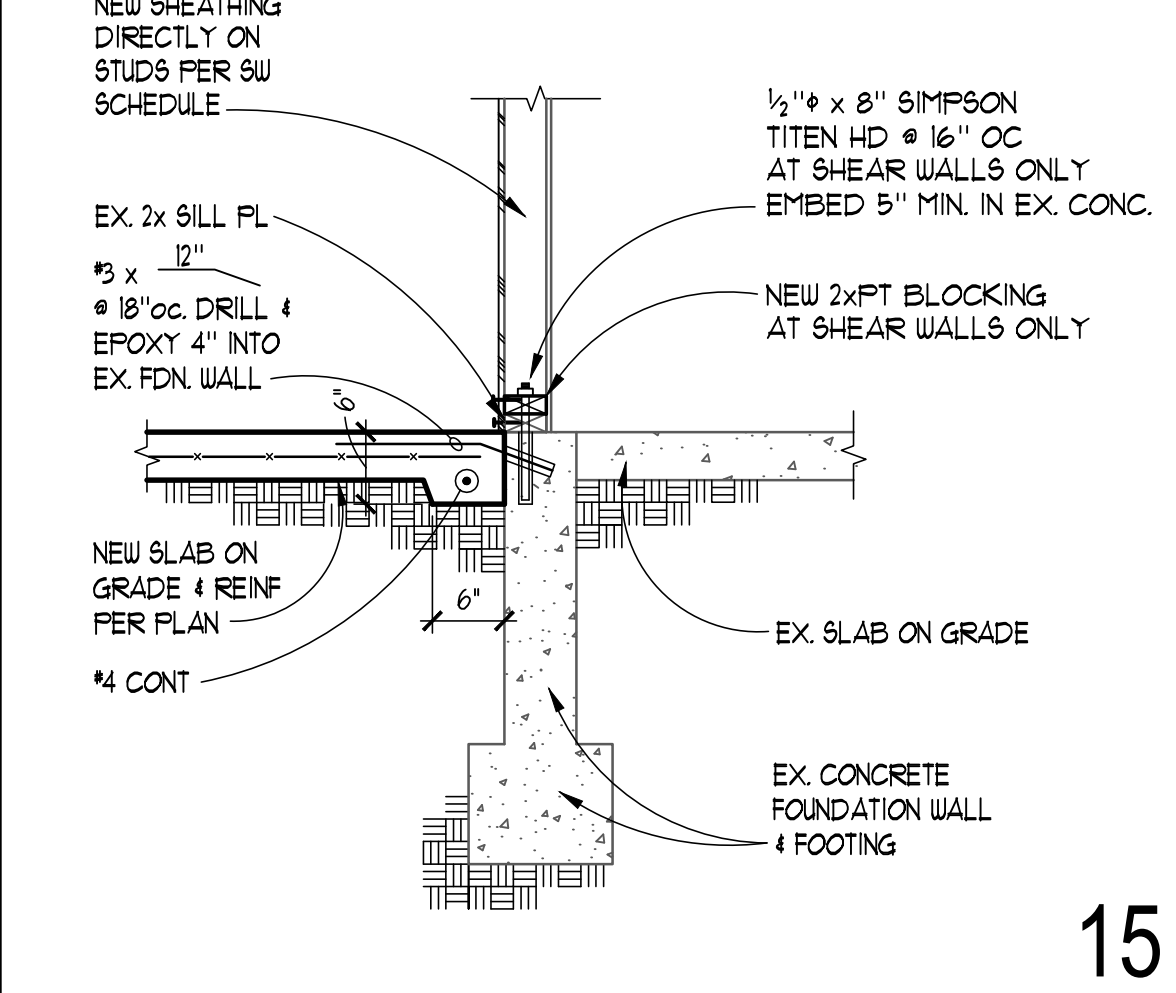


TYPICAL CORNER AND END BAR ARRANGEMENT AT CONCRETE WALLS

12



13



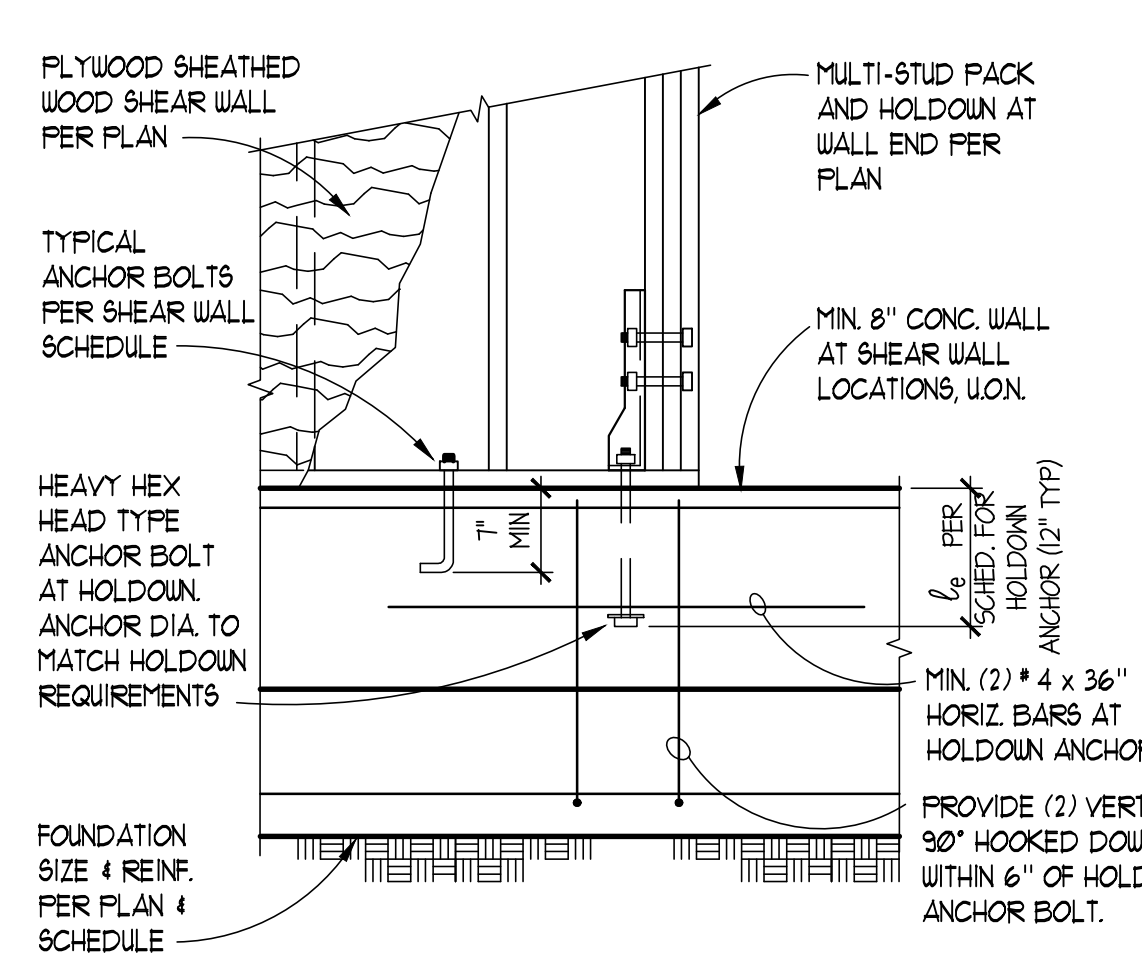
14

HOLDOWN ANCHOR BOLT EMBEDMENT SCHEDULE AT DECKS ONLY

ANCHOR BOT DIA. 'D' (CAP.)	MINIMUM EMBEDMENT DEPTH (l_e)		
	INTO 6" STEM	INTO 8" STEM	INTO MIN. 16" WIDE FTG.
5/8" (5.6k)	14"	12"	9"
3/4" (7.7k)	20"	14"	9"
7/8" (10.1k)	N/A	24"	11"
1" (14.1k)	N/A	N/A	15"
1 1/8" (20.7k)	N/A	N/A	20"

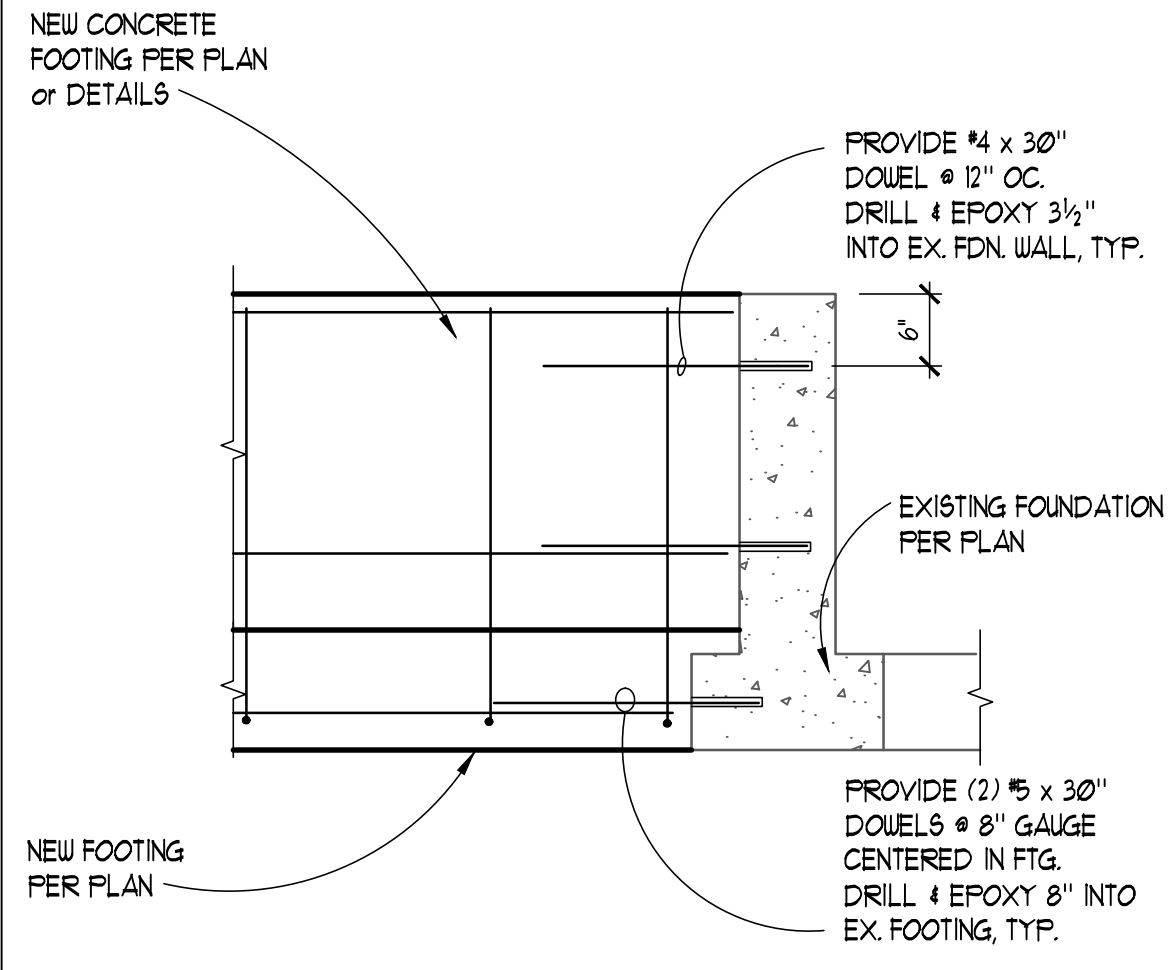
HOLDOWN EMBEDMENTS LISTED ARE BASED ON THE ALLOWABLE CAPACITIES DEVELOPED IN CONCRETE WALLS WITH TYPICAL REINFORCING SPACED NOT MORE THAN 18" ON CENTER.

ANCHOR CAPACITIES SHOWN ARE FOR HEAVY HEX HEAD TYPE BOLTS CONFORMING TO ASTM F1554 GRADE A36 OR A307. ALTERNATE ANCHOR TYPES MAY BE ALLOWED, BUT MAY REQUIRE EMBEDMENTS GREATER THAN THOSE SHOWN. PRE-ENGINEERED ANCHORS SUCH AS 'STB' AND 'FAB' ANCHORS MANUFACTURED BY SIMPSON STRONG TIE, ARE ALLOWED PROVIDED THEY HAVE CURRENT ICC REPORTS FOR CAPACITIES GREATER THAN OR EQUAL TO THOSE LISTED. PRE-ENGINEERED ANCHORS SHOULD BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS.



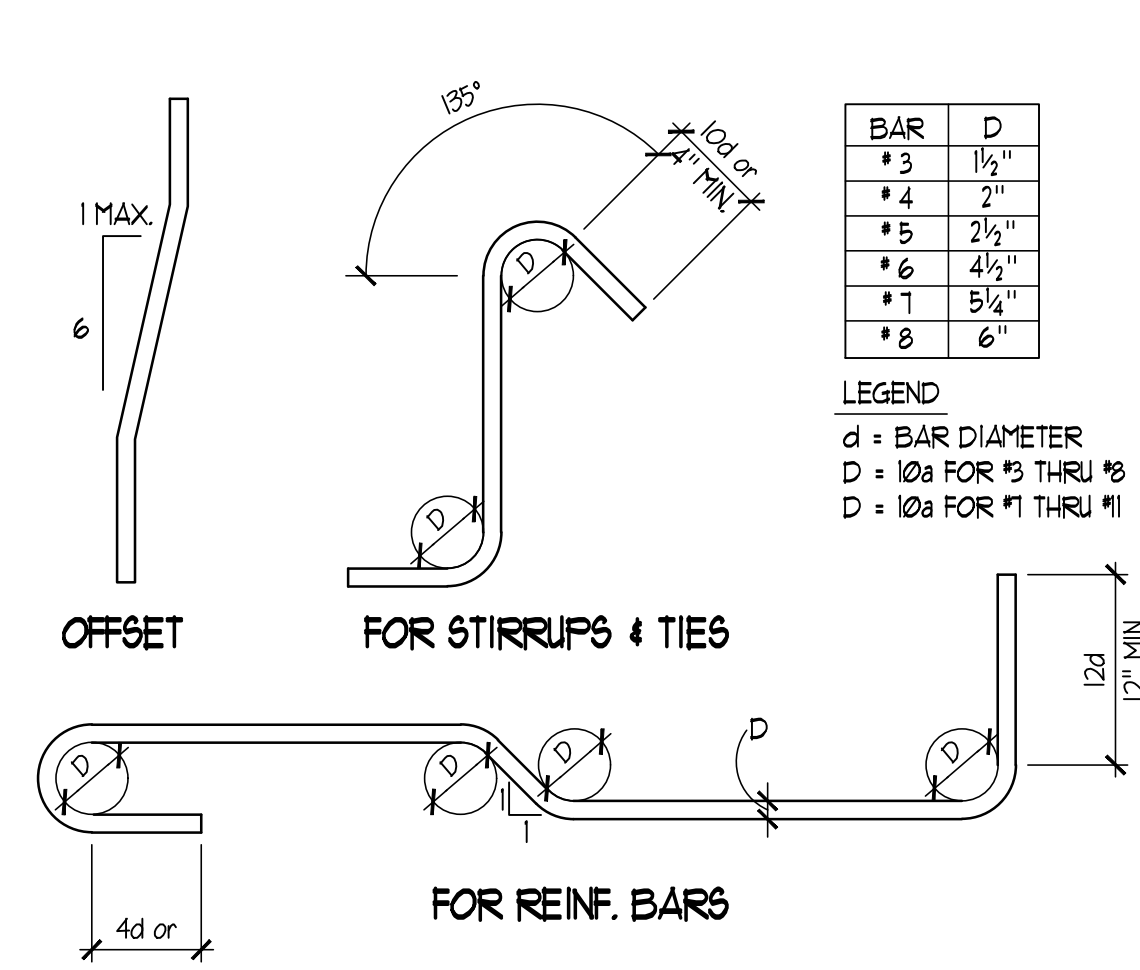
HOLDOWN EMBEDMENTS AT DECKS

17



NEW FOUNDATION CONNECTION TO EXISTING CONCRETE

18



REBAR BENDING SCHEDULE

19



20



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CASCADIAN APARTMENTS
VOLUNTARY PARTIAL SEISMIC UPGRADE
BUILDINGS N & P
15264-5267 NE 12TH ST.
BELLEVUE, WA 98007



REVISIONS / NOTES

NO	DATE	DESCRIPTION
	11/23/22	PERMIT SET
1	04/27/23	CORRECTIONS 1
2	04/27/23	DESIGN CHANGE 2
3	07/07/23	CORRECTIONS 2
4	02/23/24	ADDENDUM #1

AHJ STAMP

TITLE
BUILDING N
TYPICAL CONCRETE DETAILS

PERMIT #

DRAWN	KMH
CHECKED	VM
ISSUE DATE	07/07/23
JOB NO.	22034

SHEET NO.:

N-S300



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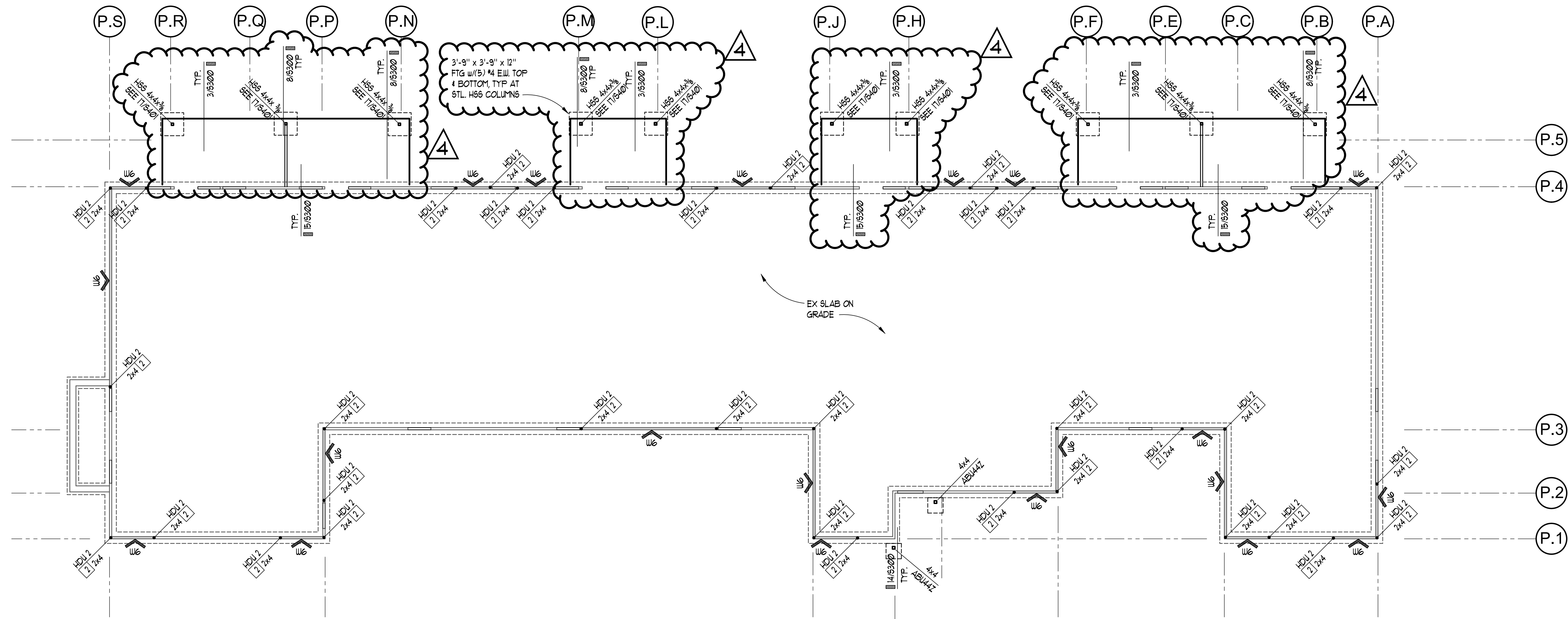


CASCADIAN APARTMENTS VOLUNTARY PARTIAL SEISMIC UPGRADE

BUILDINGS N & P
15264-5267 NE 12TH ST.
BELLEVUE, WA 98007



REVISIONS / NOTES		
NO	DATE	DESCRIPTION
	11/23/22	PERMIT SET
1	04/27/23	CORRECTIONS 1
2	04/27/23	DESIGN CHANGE 2
3	07/07/23	CORRECTIONS 2
4	02/23/24	ADDENDUM #1



PLAN NOTES

- SEE 11/6300 FOR REBAR BENDING SCHEDULE
- SEE 16/6300 FOR TYPICAL ANCHOR BOLT SIZE AND EMBEDMENT
- INDICATES SHEAR WALL PER SHEAR WALL SCHEDULE 10/5400
REMOVE EXISTING GYPSUM SHEATHING & INSTALL NEW SHEARWALL SHEATHING DIRECTLY ON EXISTING STUDS, TYPICAL.
- INDICATES SIMPSON HOLDOWN OR OTHER REQUIREMENT PER PLAN
- INDICATES THE NUMBER OF END STUDS OR BEARING STUDS REQUIRED AT END OF WALL. PROVIDE MIN (2) BEARING STUDS BELOW ALL BEAMS AND HEADERS, AND TWO FULL HEIGHT STUDS AT END OF ALL SHEAR WALLS
- SEE 6/6300 FOR REINFORCING AND SPLICE SCHEDULE
- SEE 19/6300 FOR SECTION AT HOLDOWNS TO EX CONCRETE FOUNDATION WALL
- INDICATES NEW POST AND PAD FOOTING
- INDICATES EX WALL AND FOOTING. EXISTING WALL SHEATHING CONSISTS OF 1/2" GYPSUM SHEATHING. REMOVE EXISTING GYP SHEATHING PER NOTE 3.
- INDICATES HSS COLUMN
- SEE 18/6300 FOR CONNECTION OF NEW FOOTING TO EX ADJACENT FOUNDATION.

FOUNDATION & LEVEL 1 FLOOR PLAN

SCALE: 1/8" = 1'-0"

AHJ STAMP

TITLE

BUILDING P

FOUNDATION &
LEVEL 1 FLOOR
PLAN

PERMIT #

DRAWN KMH

CHECKED VM

ISSUE DATE 07/07/23

JOB NO. 22034

SHEET NO.:

P-S200



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CASCADIAN
APARTMENTS
VOLUNTARY PARTIAL
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BUILDINGS N & P
15264-5267 NE 12TH ST.
BELLEVUE, WA 98007



REVISIONS / NOTES		
NO	DATE	DESCRIPTION
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1	04/27/23	CORRECTIONS 1
2	04/27/23	DESIGN CHANGE 2
3	07/07/23	CORRECTIONS 2
4	02/23/24	ADDENDUM #1

AHJ STAMP

TITLE

BUILDING P

ROOF FRAMING
PLAN

PERMIT #

DRAWN KMH

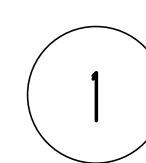
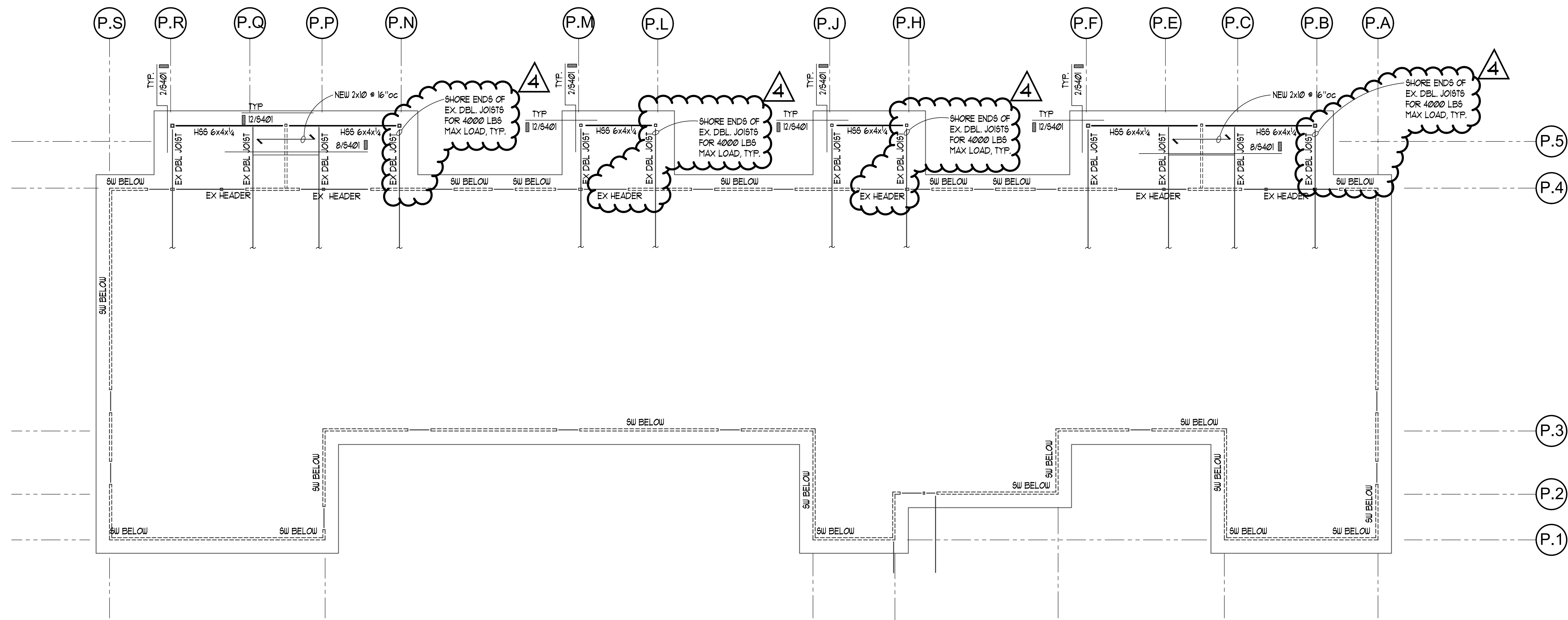
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ISSUE DATE 07/07/23

JOB NO. 22034

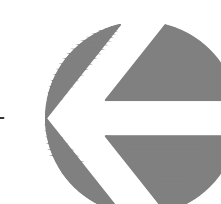
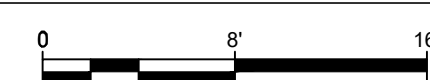
SHEET NO.:

P-S203



ROOF FRAMING PLAN

SCALE: 1/8" = 1'-0"



REINFORCING SPLICE AND DEVELOPMENT LENGTH SCHEDULE

(For Grade 60, Uncoated Bars, Normal Weight Concrete)

I MINIMUM STRAIGHT DEVELOPMENT LENGTH (l_d)

BAR SIZE	$f'c = 3000$ PSI	
	TOP BARS	OTHER BARS
#3	22"	17"
#4	29"	22"
#5	37"	28"
#6	44"	33"

* "TOP BARS" ARE HORIZONTAL BARS WITH MORE THAN 12" DEPTH OF CONCRETE CAST BELOW THEM. IF CLEAR CONCRETE COVER IS NOT GREATER THAN THE DIAMETER OF THE BAR OR THE CENTER TO CENTER SPACING IS NOT GREATER THAN 3 BAR DIAMETERS, THEN VALUES SHALL BE INCREASED BY 43%.

II MINIMUM LAP SPLICE LENGTHS (l_s)

BAR SIZE	$f'c = 3000$ PSI	
	TOP BARS	OTHER BARS
#3	29"	21"
#4	38"	27"
#5	48"	34"
#6	58"	41"

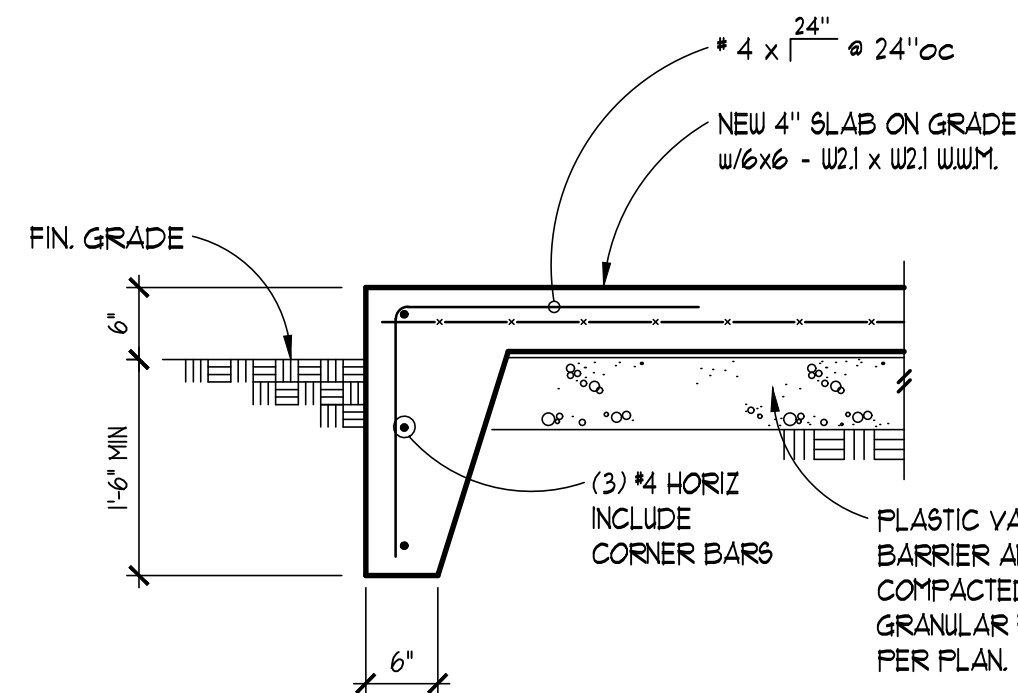
SPLICES IN HORIZONTAL REINFORCING SHALL NOT OCCUR IN BOTH CURTAINS OF REINFORCING AT THE SAME LOCATION.

III MINIMUM EMBEDMENT LENGTHS (l_{dn}) FOR STANDARD END HOOKS

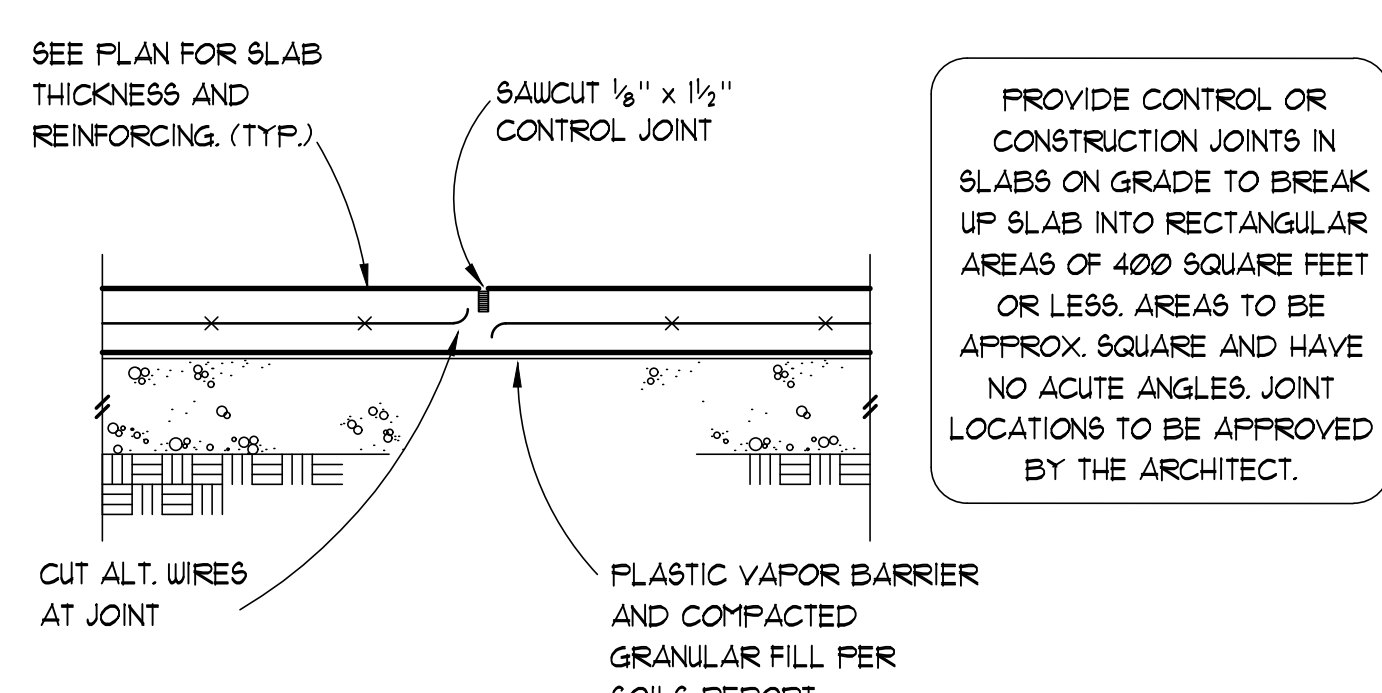
A. for general uses:

BAR SIZE	$f'c = 3000$ PSI
#3	7"
#4	9"
#5	11"
#6	13"

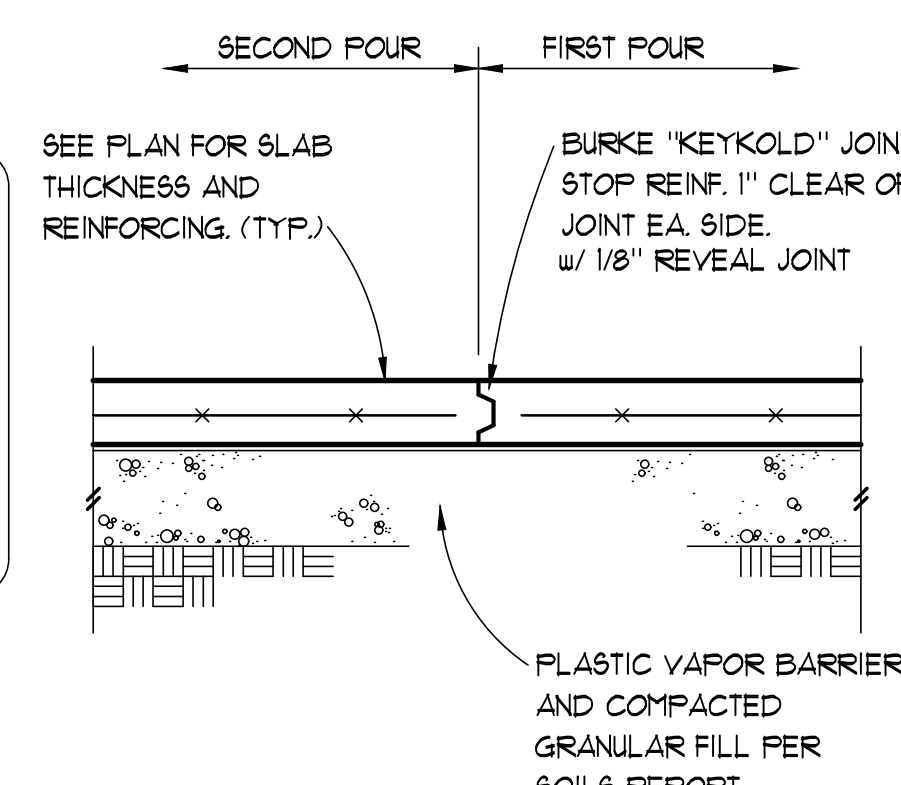
- SIDE COVER MUST BE EQUAL TO OR GREATER THAN $2\frac{1}{2}$ ".
- END COVER FOR 90° HOOKS MUST BE EQUAL TO OR GREATER THAN 2".
- 90° HOOKS ONLY



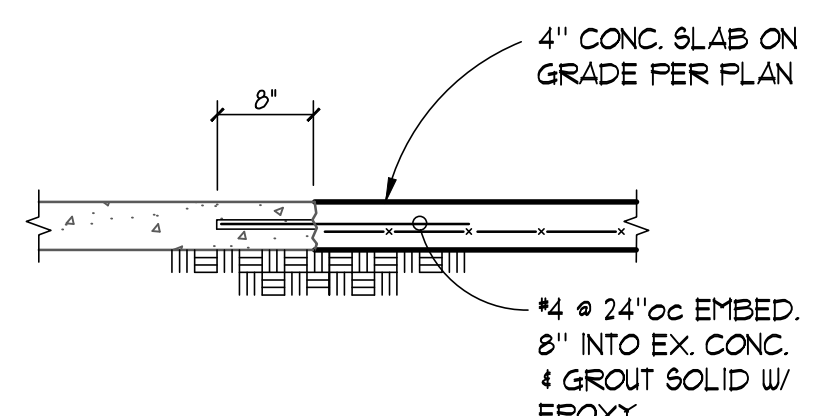
2 TYPICAL TURNED DOWN SLAB EDGE



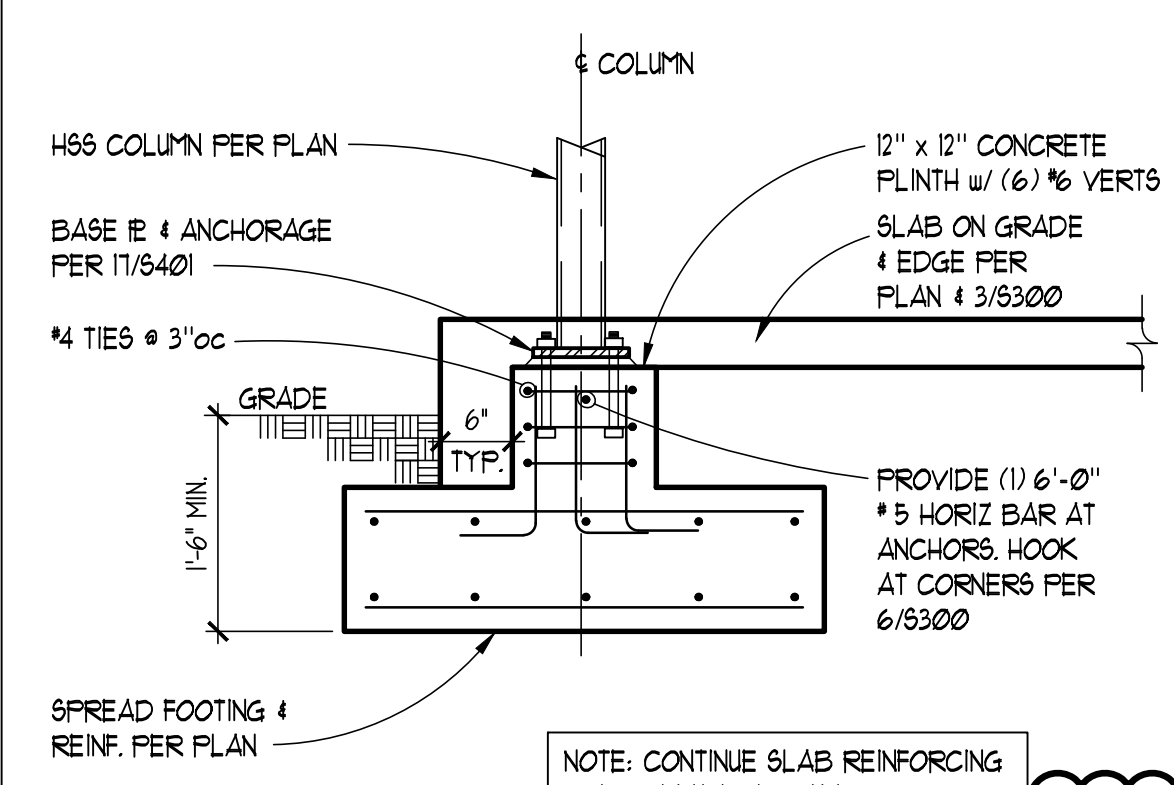
3 CONTROL JOINT



4 CONSTRUCTION JOINT



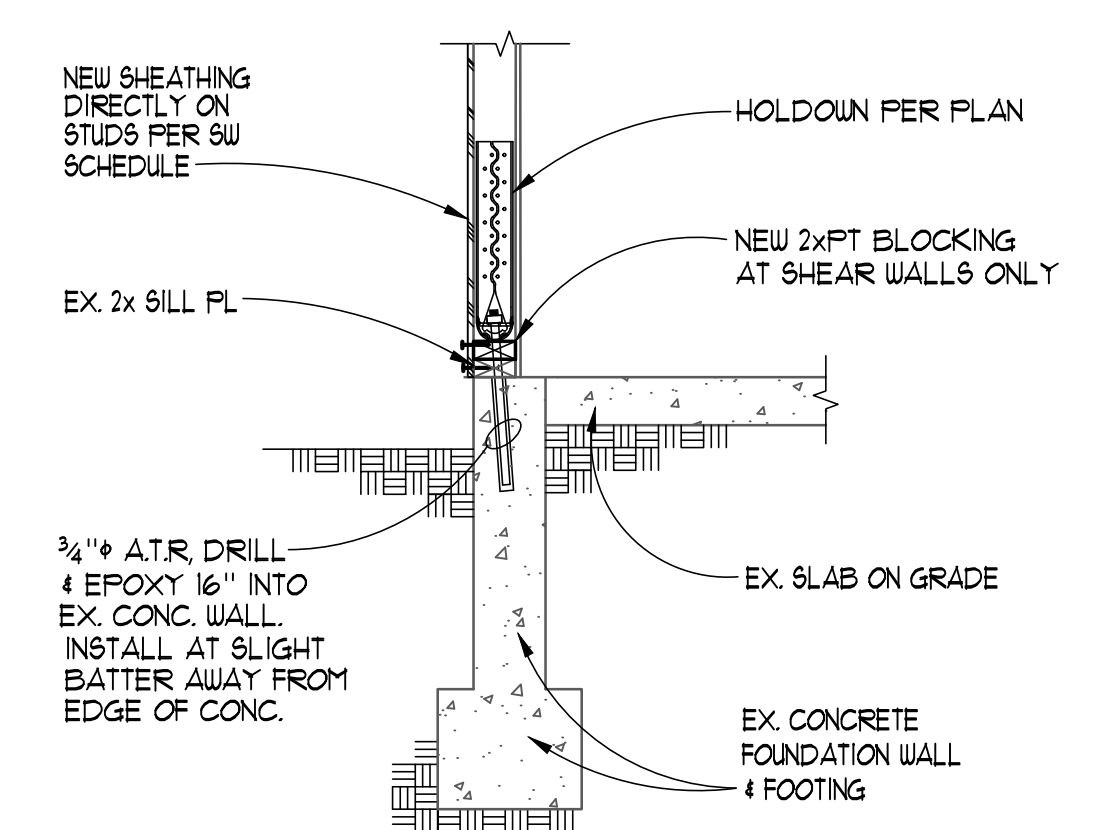
6 NEW TO EX SLAB CONNECTION



7 HSS COLUMN PER PLAN



8 SPREAD FOOTING & REINF. PER PLAN



9 NEW SHEATHING DIRECTLY ON STUDS PER SW SCHEDULE

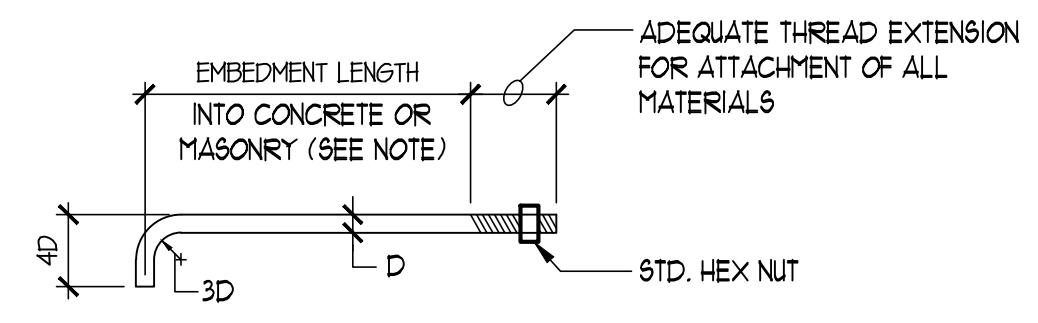
HOLDOWN ANCHOR SCHEDULE

CALLOUT	AN. SIZE	CAPACITY (Klbs)
HDU2	3/8" AB	2.62
HDU4	1/2" AB	4.13
HDU5	5/8" AB	5.43
HDU8	1" AB	8.35
HDU11	1 1/4" AB	11.21

HOLDOWNS SPECIFIED ON PLANS ARE MANUFACTURED BY SIMPSON STRONG TIE, INC. UNLESS OTHERWISE NOTED. CAPACITIES ARE BASED ON THE MOST RECENT CATALOGUE AND ICC REPORTS FOR THE MODELS LISTED.

ALTERNATE HOLDOWN ANCHORS MAY BE SUBSTITUTED AT THE CONTRACTOR OR OWNER'S OPTION, PROVIDED THEY ARE APPROVED BY THE ENGINEER OF RECORD AND HAVE A CURRENT ICC REPORT STATING THEIR CAPACITY MEETS OR EXCEEDS THE DESIGN CAPACITY LISTED ABOVE.

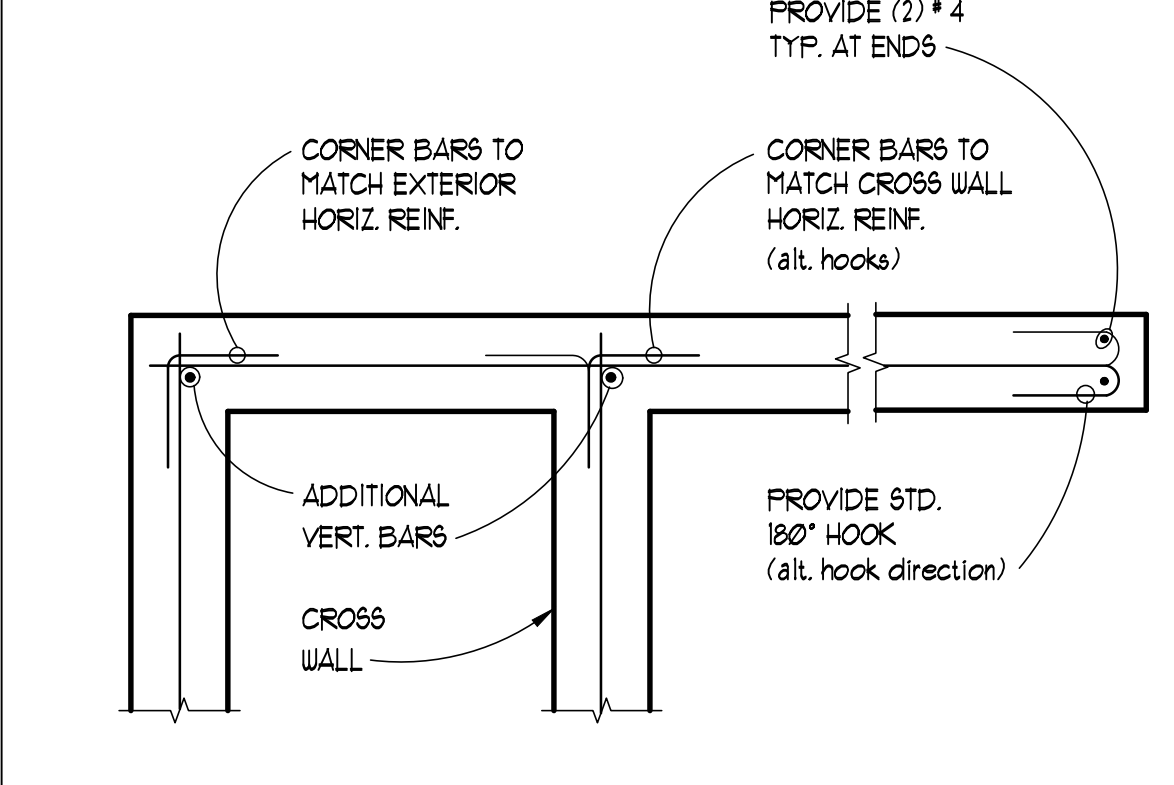
DESIGN CAPACITIES ARE BASED ON Douglas Fir FRAMING LUMBER AS STATED IN THE GENERAL STRUCTURAL NOTES. SUBSTITUTING ALTERNATE LUMBER GRADES MAY CAUSE HOLDOWNS AND THEIR CONNECTIONS TO FAIL AT LOWER CAPACITIES THAN THOSE DESIGNED FOR.



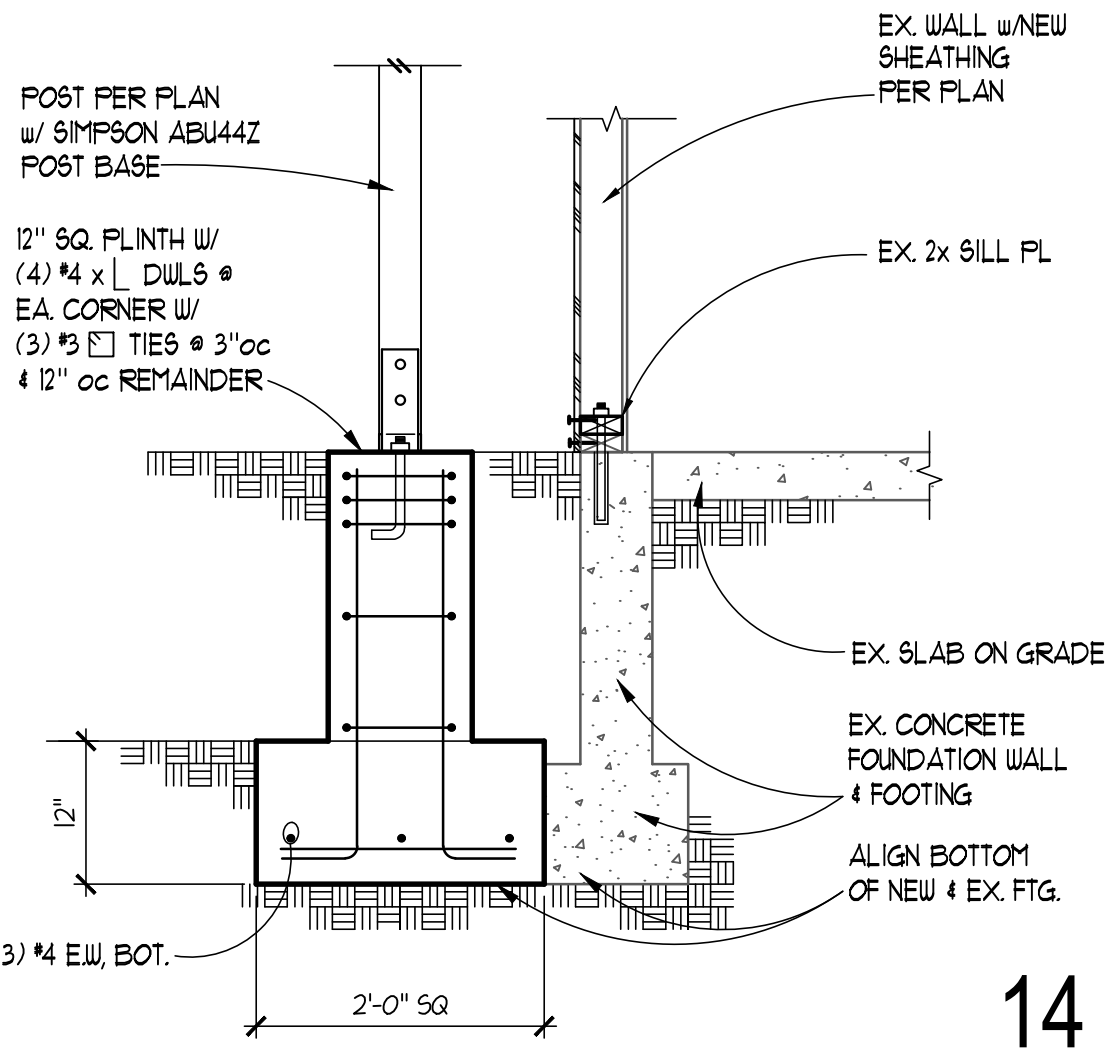
11 TYP. ANCHOR BOLT

BOLT DIA. 'D'	MINIMUM EMBEDMENT	
	ANCHOR BOLTS IN HORIZ. SURFACE	ANCHOR BOLTS IN VERT. SURFACE
1/2"	5"	7"
3/8"	5"	7"
3/4"	5"	7"

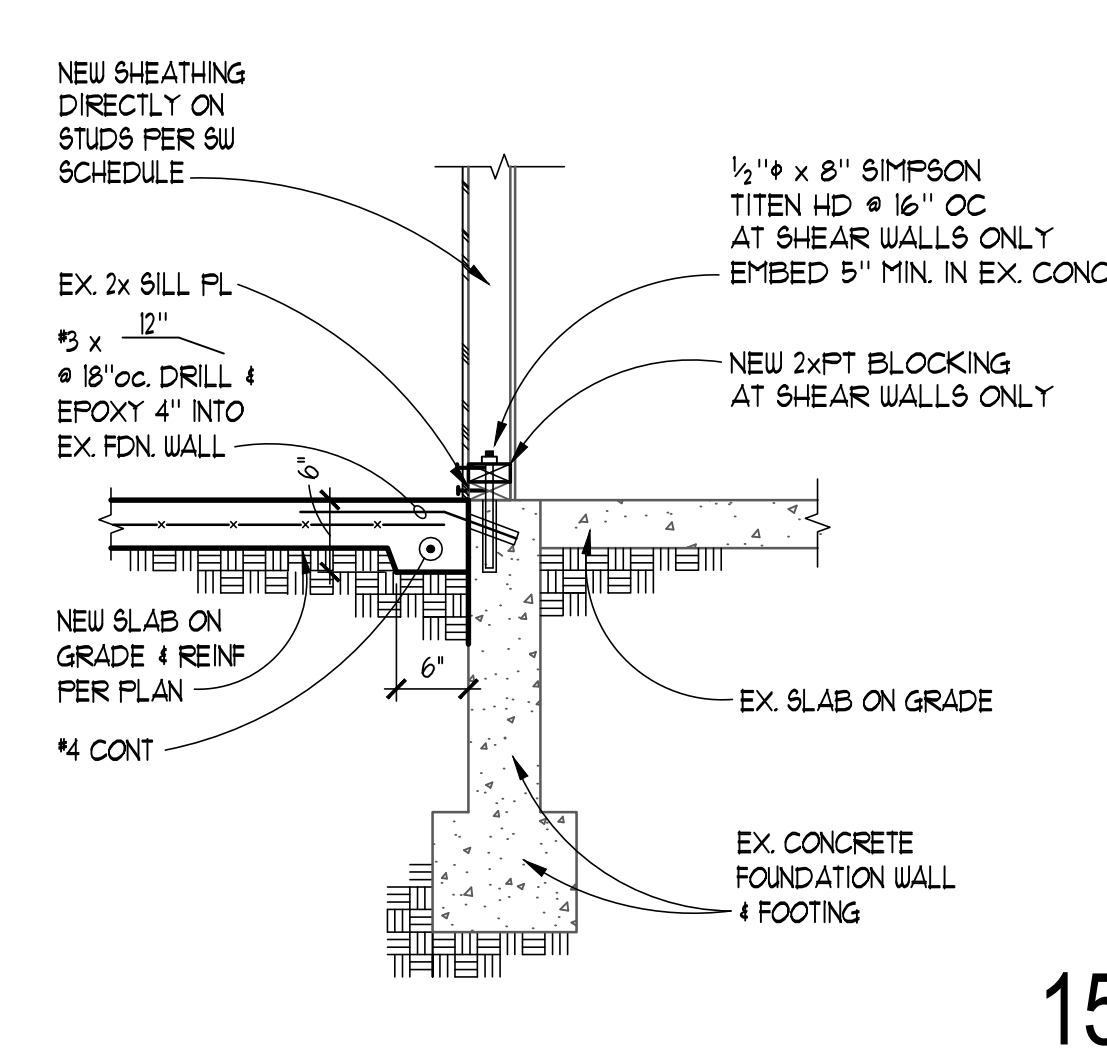
NOTE: ANCHOR BOLT EMBEDMENT IN VERTICAL SURFACE APPLIES TO CONCRETE ONLY.



12 TYPICAL CORNER AND END BAR ARRANGEMENT AT CONCRETE WALLS



13 POST PER PLAN w/ SIMPSON ABU44Z POST BASE



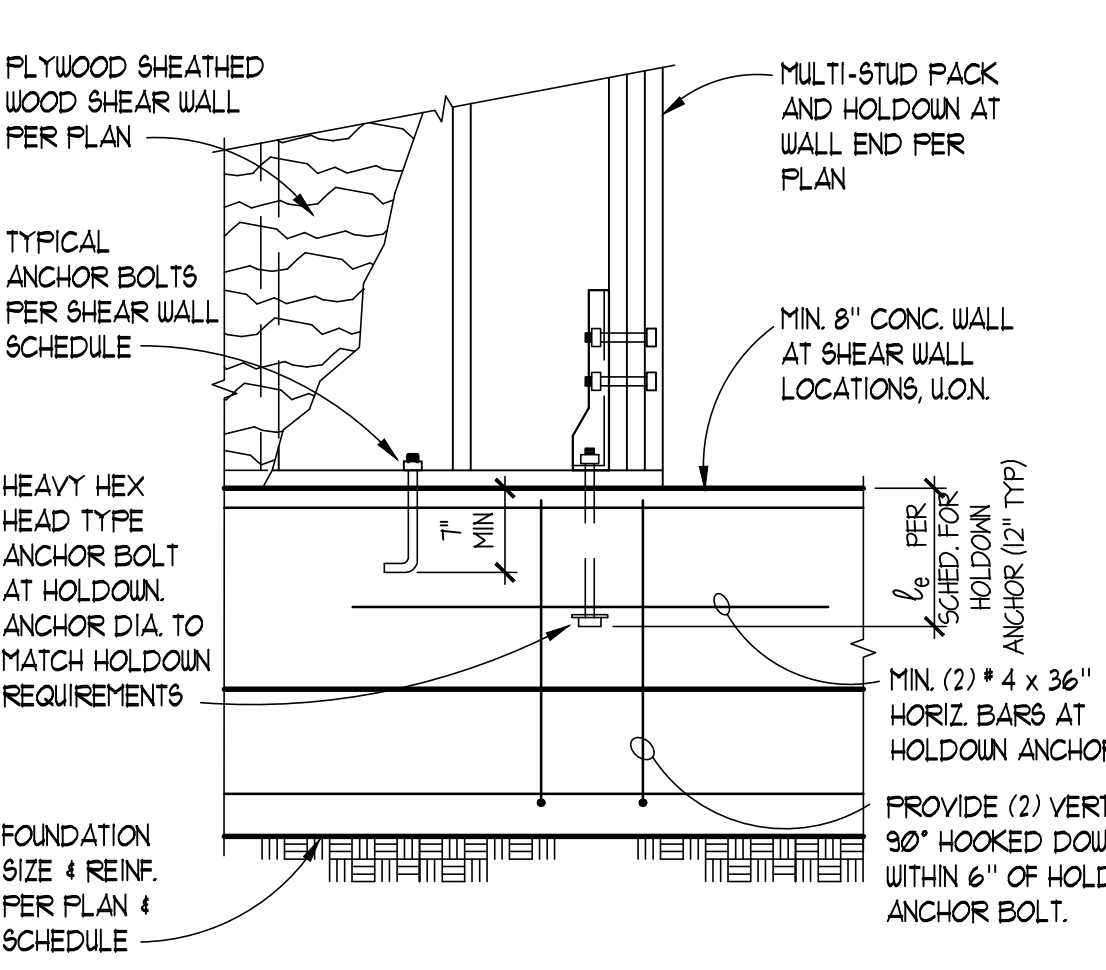
14 NEW SHEATHING DIRECTLY ON STUDS PER SW SCHEDULE

HOLDOWN ANCHOR BOLT EMBEDMENT SCHEDULE AT DECKS ONLY

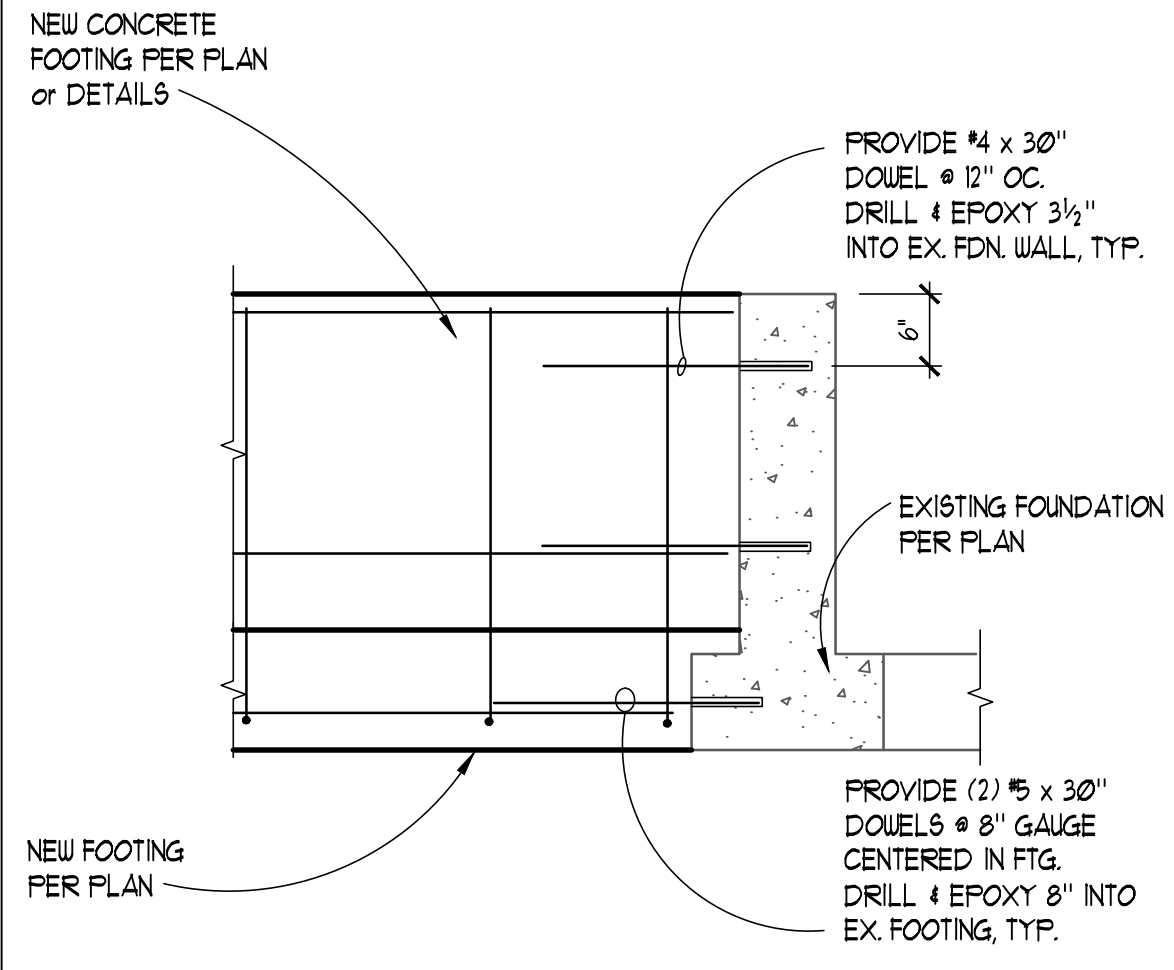
ANCHOR BOT DIA. 'D' (CAP.)	MINIMUM EMBEDMENT DEPTH (l_e)		
	INTO 6" STEM	INTO 8" STEM	INTO MIN. 1/6" WIDE FTG.
5/8" (5.6k)	14"	12"	9"
3/4" (7.7k)	20"	14"	9"
7/8" (10.1k)	N/A	24"	11"
1" (14.1k)	N/A	N/A	15"
1 1/8" (20.7k)	N/A	N/A	20"

HOLDOWN EMBEDMENTS LISTED ARE BASED ON THE ALLOWABLE CAPACITIES DEVELOPED IN CONCRETE WALLS WITH TYPICAL REINFORCING SPACED NOT MORE THAN 18" ON CENTER.

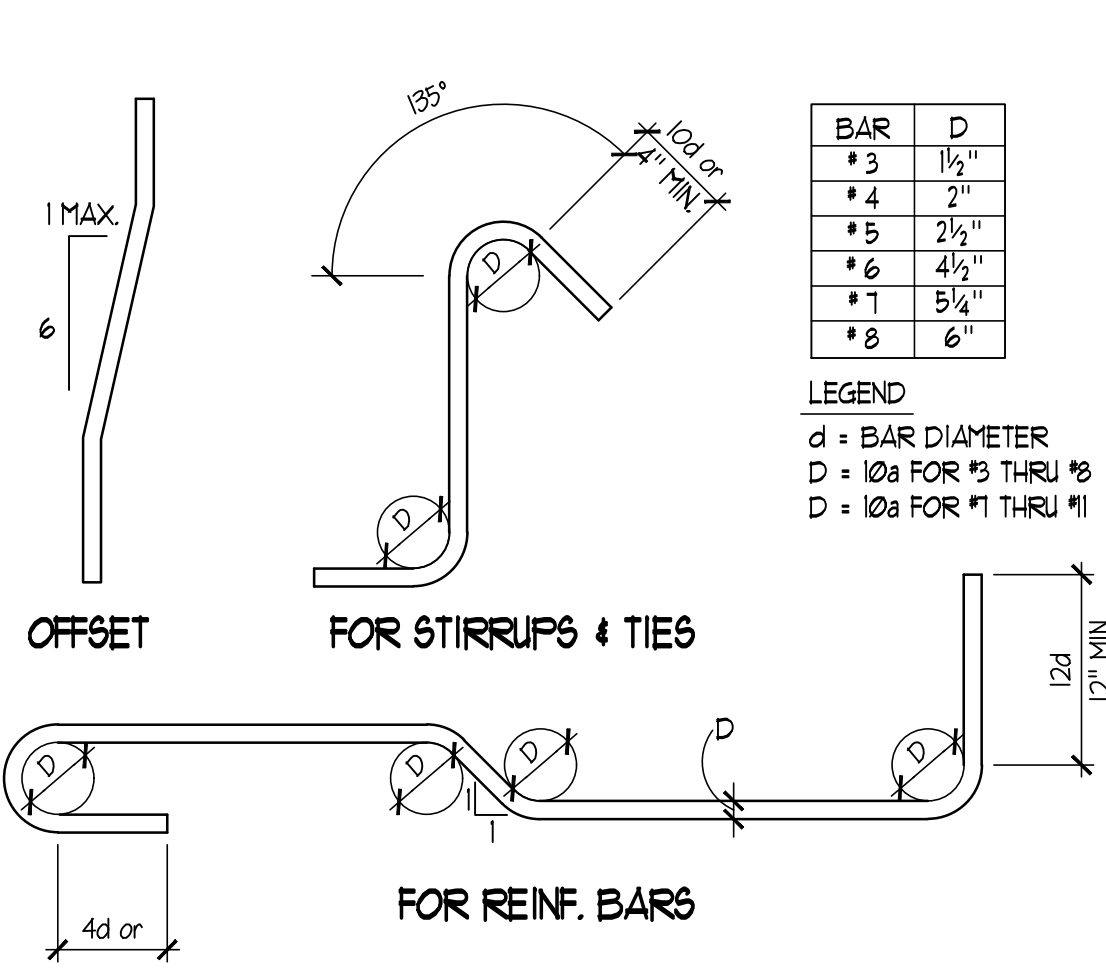
ANCHOR CAPACITIES SHOWN ARE FOR HEAVY HEX HEAD TYPE BOLTS CONFORMING TO ASTM F564, GRADE A36 OR A307. ALTERNATE ANCHOR TYPES MAY BE ALLOWED, BUT MAY REQUIRE EMBEDMENTS GREATER THAN THOSE SHOWN. FRE-ENGINEERED ANCHORS SUCH AS 'SSTB' AND 'FAB' ANCHORS MANUFACTURED BY SIMPSON STRONG TIE, ARE ALLOWED PROVIDED THEY HAVE CURRENT ICC REPORTS FOR CAPACITIES GREATER THAN OR EQUAL TO THOSE LISTED. FRE-ENGINEERED ANCHORS SHOULD BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS.



15 HOLDOWN EMBEDMENTS AT DECKS



16 NEW FOUNDATION CONNECTION TO EXISTING CONCRETE



17 REBAR BENDING SCHEDULE



18 NEW SLAB ON GRADE & REINF. PER PLAN



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CASCADIAN APARTMENTS
VOLUNTARY PARTIAL SEISMIC UPGRADE
BUILDINGS N & P
15264-5267 NE 12TH ST.
BELLEVUE, WA 98007



REVISIONS / NOTES

NO	DATE	DESCRIPTION
	11/23/22	PERMIT SET
1	04/27/23	CORRECTIONS 1
2	07/07/23	DESIGN CHANGE 2
3	07/07/23	CORRECTIONS 2
4	02/23/24	ADDENDUM #1

AHJ STAMP

TITLE
BUILDING P
TYPICAL CONCRETE DETAILS

PERMIT #

DRAWN	KMH
CHECKED	VM
ISSUE DATE	07/07/23
JOB NO.	22034

SHEET NO.:

P-S300