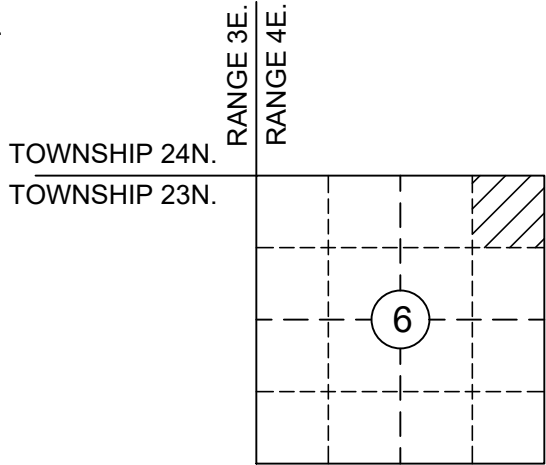


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ACTIVITY NO.
PROJECT NO.
DDES FILE NO.



VOL./PAGE

GREENBRIDGE DIVISION 7

PORTION OF THE N.E. 1/4 OF THE N.E. 1/4, SECTION 6, TOWNSHIP 23N, RANGE 4E W.M.
KING COUNTY, WASHINGTON

DEDICATION

KNOW ALL PEOPLE BY THESE PRESENTS THAT WE, THE UNDERSIGNED OWNERS OF INTEREST IN THE LAND HEREBY SUBDIVIDED, HEREBY DECLARE THIS PLAT TO BE THE GRAPHIC REPRESENTATION OF THE SUBDIVISION MADE HEREBY, AND DO HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS AND AVENUES NOT SHOWN AS PRIVATE HEREON AND DEDICATE THE USE THEREOF FOR ALL PUBLIC PURPOSES NOT INCONSISTENT WITH THE USE THEREOF FOR PUBLIC HIGHWAY PURPOSES, AND ALSO THE RIGHT TO MAKE ALL NECESSARY SLOPES FOR CUTS AND FILLS UPON THE LOTS SHOWN THEREON IN THE ORIGINAL REASONABLE GRADING OF SAID STREETS AND AVENUES, AND FURTHER DEDICATE TO THE USE OF THE PUBLIC ALL THE EASEMENTS AND TRACTS SHOWN ON THIS PLAT FOR ALL PUBLIC PURPOSES AS INDICATED THEREON, INCLUDING BUT NOT LIMITED TO PARKS, OPEN SPACE, UTILITIES AND DRAINAGE UNLESS SUCH EASEMENTS OR TRACTS ARE SPECIFICALLY IDENTIFIED ON THIS PLAT AS BEING DEDICATED OR CONVEYED TO A PERSON OR ENTITY OTHER THAN THE PUBLIC, IN WHICH CASE WE DO HEREBY DEDICATE SUCH STREETS, EASEMENTS, OR TRACTS TO THE PERSON OR ENTITY IDENTIFIED AND FOR THE PURPOSE STATED.

FURTHER, THE UNDERSIGNED OWNERS OF THE LAND HEREBY SUBDIVIDED, WAIVE FOR THEMSELVES, THEIR HEIRS AND ASSIGNS AND ANY PERSON OR ENTITY DERIVING TITLE FROM THE UNDERSIGNED, ANY AND ALL CLAIMS FOR DAMAGES AGAINST KING COUNTY, ITS SUCCESSORS AND ASSIGNS WHICH MAY BE OCCASIONED BY THE ESTABLISHMENT, CONSTRUCTION, OR MAINTENANCE OF ROADS AND/OR DRAINAGE SYSTEMS WITHIN THIS SUBDIVISION OTHER THAN CLAIMS RESULTING FROM INADEQUATE MAINTENANCE BY KING COUNTY.

FURTHER, THE UNDERSIGNED OWNERS OF THE LAND HEREBY SUBDIVIDED, AGREE FOR THEMSELVES, THEIR HEIRS AND ASSIGNS TO INDEMNIFY AND HOLD KING COUNTY, ITS SUCCESSORS AND ASSIGNS, HARMLESS FROM ANY DAMAGE, INCLUDING ANY COSTS OF DEFENSE, CLAIMED BY PERSONS WITHIN OR WITHOUT THIS SUBDIVISION TO HAVE BEEN CAUSED BY ALTERATIONS OF THE GROUND SURFACE, VEGETATION, DRAINAGE, OR SURFACE OR SUBSURFACE WATER FLOWS WITHIN THIS SUBDIVISION OR BY ESTABLISHMENT, CONSTRUCTION OR MAINTENANCE OF THE ROADS WITHIN THIS SUBDIVISION. PROVIDED, THIS WAIVER AND INDEMNIFICATION SHALL NOT BE CONSTRUED AS RELEASING KING COUNTY, ITS SUCCESSORS OR ASSIGNS, FROM LIABILITY FOR DAMAGES, INCLUDING THE COST OF DEFENSE, RESULTING IN WHOLE OR IN PART FROM THE NEGLIGENCE OF KING COUNTY, ITS SUCCESSORS, OR ASSIGNS.

THIS SUBDIVISION, DEDICATION, WAIVER OF CLAIMS AND AGREEMENT TO HOLD HARMLESS IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF SAID OWNERS.

IN WITNESS WHEREOF, WE SET OUR HANDS AND SEALS:

OWNER

BY:

TITLE:

OWNER

BY:

TITLE:

ACKNOWLEDGMENTS

STATE OF WASHINGTON

COUNTY OF

I CERTIFY THAT I KNOW OR HAVE SATISFACTORY EVIDENCE THAT SIGNED THIS INSTRUMENT, ON OATH STATED THAT HE/SHE WAS AUTHORIZED TO EXECUTE THE INSTRUMENT AND ACKNOWLEDGED IT AS THE OF TO BE THE FREE AND VOLUNTARY ACT OF SUCH PARTY FOR THE USES AND PURPOSES MENTIONED IN THE INSTRUMENT.

DATED:

SIGNATURE OF NOTARY PUBLIC:

PRINTED NAME OF NOTARY PUBLIC:

STATE OF WASHINGTON

COUNTY OF

I CERTIFY THAT I KNOW OR HAVE SATISFACTORY EVIDENCE THAT SIGNED THIS INSTRUMENT, ON OATH STATED THAT HE/SHE WAS AUTHORIZED TO EXECUTE THE INSTRUMENT AND ACKNOWLEDGED IT AS THE OF TO BE THE FREE AND VOLUNTARY ACT OF SUCH PARTY FOR THE USES AND PURPOSES MENTIONED IN THE INSTRUMENT.

DATED:

SIGNATURE OF NOTARY PUBLIC:

PRINTED NAME OF NOTARY PUBLIC:

APPROVALS

DEPARTMENT OF PERMITTING AND ENVIRONMENTAL REVIEW

EXAMINED AND APPROVED THIS DAY OF 2017

.....
DEVELOPMENT ENGINEER

EXAMINED AND APPROVED THIS DAY OF 2017

.....
DIRECTOR DEPARTMENT OF PERMITTING AND ENVIRONMENTAL REVIEW

KING COUNTY DEPARTMENT OF ASSESSMENTS

EXAMINED AND APPROVED THIS DAY OF 2017

.....
KING COUNTY ASSESSOR DEPUTY KING COUNTY ASSESSOR

ACCOUNT NUMBERS:

FINANCE DIVISION CERTIFICATE

I HEREBY CERTIFY THAT ALL PROPERTY TAXES ARE PAID, THAT THERE ARE NO DELINQUENT SPECIAL ASSESSMENTS CERTIFIED TO THIS OFFICE FOR COLLECTION AND THAT ALL SPECIAL ASSESSMENTS CERTIFIED TO THIS OFFICE FOR COLLECTION ON ANY OF THE PROPERTY HEREIN CONTAINED DEDICATED AS STREETS, ALLEYS, OR FOR ANY OTHER PUBLIC USE, ARE PAID IN FULL.

THIS DAY OF 2017

.....
MANAGER, FINANCE DIVISION

.....
DEPUTY

KING COUNTY COUNCIL

EXAMINED AND APPROVED THIS DAY OF 2017

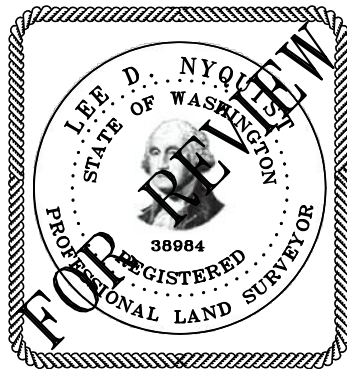
..... ATTEST:
CHAIRPERSON, KING COUNTY COUNCIL CLERK OF THE COUNCIL

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAT OF GREENBRIDGE DIVISION 7 IS BASED UPON AN ACTUAL SURVEY AND SUBDIVISION OF SECTION 06, TOWNSHIP 23 NORTH, RANGE 04 EAST, WILLAMETTE MERIDIAN, THAT THE COURSES AND DISTANCES ARE SHOWN CORRECTLY THEREON; THAT THE MONUMENTS WILL BE SET AND THE LOTS AND TRACTS WILL BE STAKED CORRECTLY ON THE GROUND AS CONSTRUCTION IS COMPLETED; AND THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF THE PLATTING REGULATIONS.

.....
LEE D. NYQUIST, PROFESSIONAL LAND SURVEYOR
CERTIFICATE NO. 38984

.....
DATE



AUDITOR'S CERTIFICATE

FILED FOR RECORD THIS DAY OF, 20...., AT M IN BOOK

OF, AT PAGE AT THE REQUEST OF HUGH G. GOLDSMITH &

ASSOCIATES, INC.

.....
COUNTY AUDITOR

PORTION OF THE N.E. 1/4 OF THE N.E. 1/4, SECTION 6, TOWNSHIP 23N, RANGE 4E W.M.



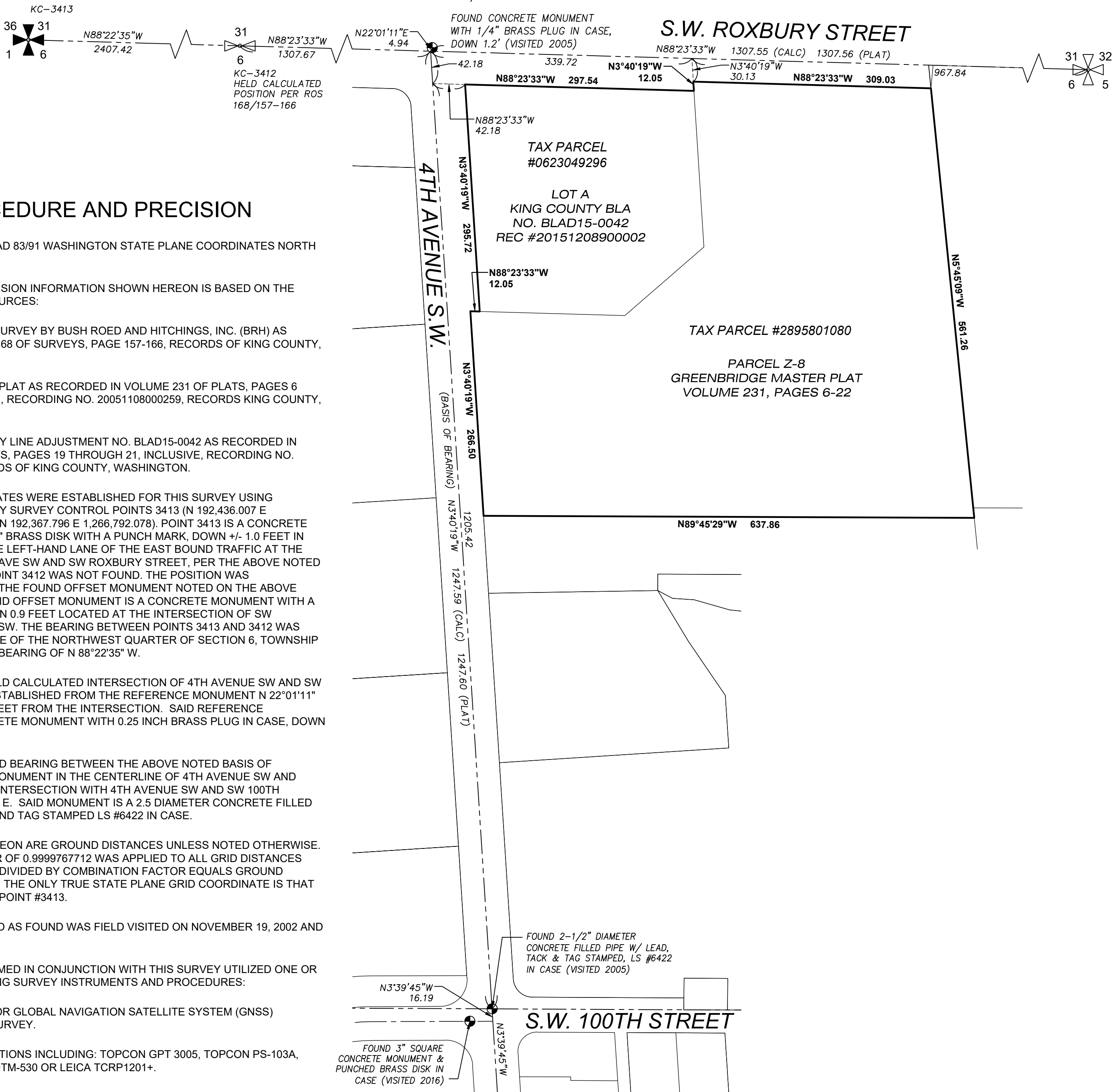
GOLDSMITH
LAND DEVELOPMENT SERVICES
1215 114th Ave SE, Bellevue, WA 98004 | PO Box 3565, Bellevue, WA 98009
T 425 462 1080 F 425 462 7719 www.goldsmithengineering.com

SHEET 1 OF 8

VOL./PAGE

GREENBRIDGE DIVISION 7

PORTION OF THE N.E. 1/4 OF THE N.E. 1/4, SECTION 6, TOWNSHIP 23N, RANGE 4E W.M.
KING COUNTY, WASHINGTON



SURVEY PROCEDURE AND PRECISION

- HORIZONTAL DATUM: NAD 83/91 WASHINGTON STATE PLANE COORDINATES NORTH ZONE.
- BOUNDARY AND SUBDIVISION INFORMATION SHOWN HEREON IS BASED ON THE FOLLOWING SURVEY SOURCES:

AMENDED RECORD OF SURVEY BY BUSH ROED AND HITCHINGS, INC. (BRH) AS RECORDED IN VOLUME 168 OF SURVEYS, PAGE 157-166, RECORDS OF KING COUNTY, WASHINGTON.

GREENBRIDGE MASTER PLAT AS RECORDED IN VOLUME 231 OF PLATS, PAGES 6 THROUGH 22, INCLUSIVE, RECORDING NO. 20051108000259, RECORDS KING COUNTY, WASHINGTON.

KING COUNTY BOUNDARY LINE ADJUSTMENT NO. BLAD15-0042 AS RECORDED IN VOLUME 335 OF SURVEYS, PAGES 19 THROUGH 21, INCLUSIVE, RECORDING NO. 20151208900002, RECORDS OF KING COUNTY, WASHINGTON.
- STATE PLANE COORDINATES WERE ESTABLISHED FOR THIS SURVEY USING PUBLISHED KING COUNTY SURVEY CONTROL POINTS 3413 (N 192,436.007 E 1,264,385.625) AND 3412 (N 192,367.796 E 1,266,792.078). POINT 3413 IS A CONCRETE MONUMENT WITH A 2 1/2" BRASS DISK WITH A PUNCH MARK, DOWN +/- 1.0 FEET IN THE CENTERLINE OF THE LEFT-HAND LANE OF THE EAST BOUND TRAFFIC AT THE INTERSECTION OF 16TH AVE SW AND SW ROXBURY STREET, PER THE ABOVE NOTED RECORD OF SURVEY. POINT 3412 WAS NOT FOUND. THE POSITION WAS RE-ESTABLISHED FROM THE FOUND OFFSET MONUMENT NOTED ON THE ABOVE NOTED BRH SURVEY. SAID OFFSET MONUMENT IS A CONCRETE MONUMENT WITH A 1/4" COPPER PLUG, DOWN 0.9 FEET LOCATED AT THE INTERSECTION OF SW ROXBURY AND 8TH AVE SW. THE BEARING BETWEEN POINTS 3413 AND 3412 WAS HELD AS THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 6, TOWNSHIP 23 N, RANGE 4 E WITH A BEARING OF N 88°22'35" W.
- BASIS OF POSITION: HELD CALCULATED INTERSECTION OF 4TH AVENUE SW AND SW ROXBURY STREET AS ESTABLISHED FROM THE REFERENCE MONUMENT N 22°01'11" E, A DISTANCE OF 4.94 FEET FROM THE INTERSECTION. SAID REFERENCE MONUMENT IS A CONCRETE MONUMENT WITH 0.25 INCH BRASS PLUG IN CASE, DOWN 1.2 FEET.
- BASIS OF BEARING: HELD BEARING BETWEEN THE ABOVE NOTED BASIS OF POSITION AND FOUND MONUMENT IN THE CENTERLINE OF 4TH AVENUE SW AND NORTH OF THE STREET INTERSECTION WITH 4TH AVENUE SW AND SW 100TH STREET TO BE S 3°40'19" E. SAID MONUMENT IS A 2.5 DIAMETER CONCRETE FILLED PIPE WITH LEAD, TACK AND TAG STAMPED LS #6422 IN CASE.
- DISTANCES SHOWN HEREON ARE GROUND DISTANCES UNLESS NOTED OTHERWISE. A COMBINATION FACTOR OF 0.9999767712 WAS APPLIED TO ALL GRID DISTANCES WHERE GRID DISTANCE DIVIDED BY COMBINATION FACTOR EQUALS GROUND DISTANCE. THEREFORE, THE ONLY TRUE STATE PLANE GRID COORDINATE IS THAT FOR THE ABOVE NOTED POINT #3413.
- MONUMENTATION NOTED AS FOUND WAS FIELD VISITED ON NOVEMBER 19, 2002 AND MARCH 11, 2010.
- SURVEY WORK PERFORMED IN CONJUNCTION WITH THIS SURVEY UTILIZED ONE OR MORE OF THE FOLLOWING SURVEY INSTRUMENTS AND PROCEDURES:

A) FIELD TRAVERSE AND / OR GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) POSITIONING SYSTEM SURVEY.

B) ELECTRONIC TOTAL STATIONS INCLUDING: TOPCON GPT 3005, TOPCON PS-103A, NIKON DTM-430, NIKON DTM-530 OR LEICA TCRP1201+.

C) GNSS EQUIPMENT INCLUDING: TOPCON HIPER LITE PLUS AND / OR TOPCON GR-3.

D) ALL FIELD TRAVERSE WORK COMPLIES WITH CURRENT STANDARDS AS OUTLINED IN WAC 332-130-070, 080 AND 090. ALL INSTRUMENTS MAINTAINED TO MANUFACTURER'S SPECIFICATIONS AS REQUIRED BY WAC 332-130-100.
- PARCEL AND TRACT CORNER DESIGNATIONS:

REAR CORNERS: 1/2" DIA. 24" LONG REBAR WITH CAP LS 38984.
FRONT CORNERS: LEAD AND TACK WITH WASHER IN CONCRETE CURB, ON PROPERTY LINE EXTENDED, LS 38984.
STREET MONUMENTS: CONCRETE MONUMENT WITH 2 INCH BRASS DISC STAMPED PLS 38984, IN CASE.

FILLETS FRONTING STREET RIGHTS-OF-WAY ARE NOT DELINEATED WITH CORNER MARKERS.
- ALL UNITS SHOWN ARE EXPRESSED IN U.S. SURVEY FEET (GROUND DISTANCES, NOT GRID DISTANCES), UNLESS OTHERWISE SPECIFIED.

LEGAL DESCRIPTION

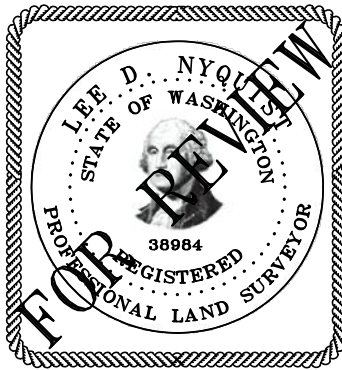
PARCEL A (TAX ACCOUNT NO. 289580-1080)

PARCEL Z-8, GREENBRIDGE MASTER PLAT, ACCORDING TO THE PLAT RECORDED IN VOLUME 231 OF PLATS, PAGES 6 THROUGH 22, IN KING COUNTY, WASHINGTON;

PARCEL B (TAX ACCOUNT NO. 62304-9256)

LOT A, KING COUNTY BOUNDARY LINE ADJUSTMENT NO. BLAD15-0042, RECORDED UNDER RECORDING NUMBER 20151208900002, AND FILED IN VOLUME 335 OF SURVEYS, PAGES 19 THROUGH 21, IN KING COUNTY, WASHINGTON.

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.



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GREENBRIDGE DIVISION 7

PORTION OF THE N.E. 1/4 OF THE N.E. 1/4, SECTION 6, TOWNSHIP 23N, RANGE 4E W.M.
KING COUNTY, WASHINGTON

RESTRICTIONS OF RECORD

ALL TITLE INFORMATION SHOWN ON THIS MAP HAS BEEN EXTRACTED FROM INFORMATION CONTAINED IN CHICAGO TITLE INSURANCE COMPANY, GUARANTEE, ORDER NO. 0082413-06, DATED NOVEMBER 18, 2016, AND SUPPLEMENTAL COMMITMENTS THERETO DATED PRIOR TO THE RECORDING OF THIS PLAT. IN PREPARING THIS MAP, HUGH G. GOLDSMITH AND ASSOCIATES, INC., CONDUCTED NO INDEPENDENT TITLE SEARCH, NOT IS HUGH G. GOLDSMITH AND ASSOCIATES, INC., AWARE OF ANY TITLE ISSUES AFFECTING THE PROPERTY OTHER THAN THOSE SHOWN ON THE MAP AND DISCLOSE BY THE REFERENCED PLAT CERTIFICATE. HUGH G. GOLDSMITH AND ASSOCIATES, INC., HAS RELIED WHOLLY ON CHICAGO TITLE INSURANCE COMPANY'S REPRESENTATION OF THE TITLE'S CONDITION TO PREPARE THIS SURVEY AND THEREFORE HUGH G. GOLDSMITH AND ASSOCIATES, INC., QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.

EXCEPTIONS

1. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

GRANTED TO:

PURPOSE:

RECORDING DATE:

RECORDING NO.:

AFFECTS:

SOUTHWEST SUBURBAN SEWER DISTRICT, A MUNICIPAL CORPORATION

INSTALLING, CONSTRUCTING, OPERATING, INSPECTING, MAINTAINING, REMOVING, REPAIRING, REPLACING AND USING SANITARY SEWER LINES, MANHOLES AND APPURTENANCES TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS

OCTOBER 10, 2005

20051010000013

PORTION OF PARCEL A AND OTHER PROPERTY

NOTE: SAID EASEMENT IS ALSO DELINEATED AND/OR DEDICATED ON THE FACE OF THE PLAT.

SAID EASEMENT HAS BEEN MODIFIED BY PARTIAL RELEASE RECORDED UNDER RECORDING NO. 20120516000503.
2. COVENANTS, CONDITIONS, RESTRICTIONS, RECITALS, RESERVATIONS, EASEMENTS, EASEMENT PROVISIONS, DEDICATIONS, BUILDING SETBACK LINES, NOTES, STATEMENTS, AND OTHER MATTERS, IF ANY, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH ON THE PLAT OF GREENBRIDGE MASTER PLAT:

RECORDING NO:

MODIFICATION(S) OF SAID COVENANTS, CONDITIONS AND RESTRICTIONS

RECORDING DATE:

RECORDING NO.:

MODIFICATION(S) OF SAID COVENANTS, CONDITIONS AND RESTRICTIONS

RECORDING DATE:

RECORDING NO.:

MODIFICATION(S) OF SAID COVENANTS, CONDITIONS AND RESTRICTIONS

RECORDING DATE:

RECORDING NO.:

MODIFICATION(S) OF SAID COVENANTS, CONDITIONS AND RESTRICTIONS

RECORDING DATE:

RECORDING NO.:

MODIFICATION(S) OF SAID COVENANTS, CONDITIONS AND RESTRICTIONS

RECORDING DATE:

RECORDING NO.:

A DECLARATION OF COMPLIANCE WITH PLAT CONDITIONS WAS RECORDED UNDER RECORDING NO. 20100419001792.

AFFECTS:

PARCEL A
3. COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, SOURCE OF INCOME, GENDER, GENDER IDENTITY, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT

RECORDING DATE:

RECORDING NO.:

SAID INSTRUMENT AMENDS AND REPLACES DOCUMENT RECORDED UNDER RECORDING NO. 20051108000261.

AFFECTS:

PARCEL A

4. COVENANTS, CONDITIONS AND RESTRICTIONS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, SOURCE OF INCOME, GENDER, GENDER IDENTITY, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT

RECORDING DATE:

RECORDING NO.:

AFFECTS:

PARCEL A

5. CITY OF SEATTLE RESOLUTION 31559, AND THE TERMS AND CONDITIONS THEREOF:

RECORDING DATE:

RECORDING NO.:

6. RIGHT TO MAKE NECESSARY SLOPES FOR CUTS OR FILLS UPON PROPERTY HEREIN DESCRIBED AS GRANTED OR RESERVED IN DEED

IN FAVOR OF:

RECORDING DATE(S):

RECORDING NO(S):

AFFECTS:

KING COUNTY

OCTOBER 30, 1962 AND NOVEMBER 20, 1987

5499671 AND 8711200416 (RE-RECORDING OF DEED RECORDED UNDER RECORDING NO. 5364100)

PARCEL B

EXCEPTIONS 7 AND 8 ARE FISCAL IN NATURE (TAXES).

EXCEPTION 9 PERTAINS TO A TITLE COMPANY RESERVATION.

10. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

GRANTED TO:

PURPOSE:

RECORDING DATE:

RECORDING NO.:

AFFECTS:

PACIFIC NORTHWEST BELL TELEPHONE COMPANY, A WASHINGTON CORPORATION

UNDERGROUND COMMUNICATION LINES AND ABOVE GROUND CABINET AND OTHER APPURTENANCES

NOVEMBER 20, 1987

8711200415

WESTERLY PORTION OF PARCEL B

SAID EASEMENT IS A RE-RECORDING OF EASEMENT RECORDED UNDER RECORDING NUMBER 8506240806

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ACTIVITY NO.
PROJECT NO.
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GREENBRIDGE DIVISION 7

PORTION OF THE N.E. 1/4 OF THE N.E. 1/4, SECTION 6, TOWNSHIP 23N, RANGE 4E W.M.
KING COUNTY, WASHINGTON

UTILITY EASEMENT PROVISIONS

AN EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE REGIONAL TELEPHONE PROVIDER, REGIONAL CABLE TELEVISION PROVIDER, PUGET SOUND ENERGY, SOUTHWEST SUBURBAN SEWER DISTRICT, SEATTLE PUBLIC UTILITIES, KING COUNTY WATER DISTRICT NO. 45, KING COUNTY, OTHER UTILITY PROVIDERS, THE GREENBRIDGE ASSOCIATION, AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, UNDER AND UPON A STRIP OF LAND BEING 10 FEET IN WIDTH WITHIN ALL LOTS, PARCELS AND TRACTS, PARALLEL WITH AND ADJOINING THE FRONTAGE OF ALL STREETS DEDICATED AS A PART OF THIS PLAT AND ABOUT TRACT A-701 AND TRACT A-702 AS DEPICTED HEREIN, IN WHICH TO INSTALL, LAY, CONSTRUCT, RENEW, OPERATE AND MAINTAIN WATER SYSTEM FACILITIES, SEWER SYSTEM FACILITIES, STORM DRAINAGE FACILITIES, ROAD AND SIDEWALK IMPROVEMENTS, UNDERGROUND CONDUITS, MAINS, CABLES AND WIRES WITH NECESSARY FACILITIES AND OTHER EQUIPMENT FOR THE PURPOSE OF SERVING THIS SUBDIVISION AND OTHER PROPERTY WITH ELECTRIC, TELEPHONE, TV, GAS, WATER, SEWER, STORM DRAINAGE AND OTHER UTILITY SERVICE, TOGETHER WITH THE RIGHT TO ENTER UPON THE EASEMENTS AT ALL TIMES FOR THE PURPOSE HEREIN STATED, PROVIDED NO NEW FACILITIES OF ANY TYPE MAY BE INSTALLED WITHIN THE AREA PARALLEL WITH AND ADJOINING THE FRONTAGE OF ALL LOTS, PARCELS OR TRACTS WITHOUT THE PRIOR WRITTEN CONSENT OF THE OWNER OF SUCH LOT, PARCEL OR TRACT. SAID CONSENT SHALL NOT BE UNREASONABLY WITHHELD.

IN ADDITION TO THE BENEFICIARIES STATED ABOVE, THE UNDERLYING PROPERTY OWNERS ADJACENT TO SAID EASEMENTS SHALL HAVE THE RIGHT TO ENTER SAID EASEMENT TO PERFORM MAINTENANCE, REPAIR OR REPLACEMENT OF SANITARY SEWER SERVICE LINES AND WATER SERVICE LINES AND ROOF/YARD/STORM DRAINAGE LINES, FROM WHICH SAID PROPERTY OWNERS DIRECTLY BENEFIT, IN THE ORIGINAL "AS CONSTRUCTED" LOCATION.

THESE EASEMENTS ENTERED UPON FOR THESE PURPOSES SHALL BE RESTORED AS NEAR AS POSSIBLE TO THEIR ORIGINAL CONDITION BY SAID ENTERING ENTITY. NO LINES OR WIRES FOR THE TRANSMISSION OF ELECTRIC CURRENT, TELEPHONE, CABLE TELEVISION, TELECOMMUNICATIONS OR DATA TRANSMISSION USES SHALL BE PLACED OR BE PERMITTED TO BE PLACED UPON ANY LOT UNLESS THE SAME SHALL BE UNDERGROUND OR IN CONDUIT ATTACHED TO A BUILDING.

PUBLIC DRAINAGE EASEMENT RESTRICTIONS

STRUCTURES, FILL, OR OBSTRUCTIONS (INCLUDING BUT NOT LIMITED TO DECKS, PATIOS, OUTBUILDINGS, OR OVERHANGS) SHALL NOT BE PERMITTED BEYOND THE BUILDING SETBACK LINE OR WITHIN PUBLIC DRAINAGE EASEMENTS UNLESS OTHERWISE APPROVED BY THE KING COUNTY DEPARTMENT OF PERMITTING AND ENVIRONMENTAL REVIEW (DPER) OR ITS SUCCESSOR AGENCY. ADDITIONALLY, GRADING AND CONSTRUCTION OF FENCING SHALL NOT BE ALLOWED WITHIN THE PUBLIC DRAINAGE EASEMENTS SHOWN ON THIS PLAT MAP UNLESS OTHERWISE APPROVED BY KING COUNTY DPER OR ITS SUCCESSOR AGENCY.

PUBLIC DRAINAGE EASEMENT AND COVENANT

ALL DRAINAGE EASEMENTS WITHIN THIS PLAT, NOT SHOWN AS "PRIVATE", ARE HEREBY GRANTED AND CONVEYED TO KING COUNTY, A POLITICAL SUBDIVISION OF THE STATE OF WASHINGTON, FOR THE PURPOSE OF CONVEYING, STORING, MANAGING AND FACILITATING STORM AND SURFACE WATER PER THE ENGINEERING PLANS APPROVED FOR THIS PLAT BY KING COUNTY, TOGETHER WITH THE RIGHT OF REASONABLE ACCESS (INGRESS AND EGRESS), TO ENTER SAID DRAINAGE EASEMENTS FOR THE PURPOSE OF INSPECTING, OPERATING, MAINTAINING, REPAIRING AND IMPROVING THE DRAINAGE FACILITIES CONTAINED THEREIN. NOTE THAT EXCEPT FOR THE FACILITIES WHICH HAVE BEEN FORMALLY ACCEPTED FOR MAINTENANCE BY KING COUNTY, MAINTENANCE OF DRAINAGE FACILITIES ON PRIVATE PROPERTY IS THE RESPONSIBILITY OF THE PROPERTY OWNER.

THE OWNERS OF SAID PRIVATE PROPERTY ARE REQUIRED TO OBTAIN PRIOR WRITTEN APPROVAL FROM KING COUNTY PROPERTY SERVICES, AND ANY REQUIRED PERMITS FROM THE KING COUNTY DPER FOR ACTIVITIES SUCH AS CLEARING AND GRADING, PRIOR TO FILLING, PIPING, CUTTING OR REMOVING VEGETATION (EXCEPT FOR ROUTINE LANDSCAPE MAINTENANCE SUCH AS LAWN MOWING) IN OPEN VEGETATED DRAINAGE FACILITIES (SUCH AS SWALES, CHANNELS, DITCHES, PONDS, ETC.), OR PERFORMING ANY ALTERATIONS OR MODIFICATIONS TO THE DRAINAGE FACILITIES, CONTAINED WITHIN SAID DRAINAGE EASEMENT.

THESE EASEMENTS ARE INTENDED TO FACILITATE REASONABLE ACCESS TO THE DRAINAGE FACILITIES. THESE EASEMENTS AND COVENANTS SHALL RUN WITH THE LAND AND ARE BINDING UPON THE OWNERS OF SAID PRIVATE PROPERTY, THEIR HEIRS, SUCCESSORS AND ASSIGNS.

PRIVATE DRAINAGE EASEMENTS

THE FOLLOWING LISTED LOTS ARE SUBJECT TO A PRIVATE DRAINAGE EASEMENT COINCIDENT WITH THE ABUTTING UTILITY EASEMENT, AS SHOWN HEREON. SAID PRIVATE DRAINAGE EASEMENTS ARE FOR THE PURPOSE OF INSTALLING AND MAINTAINING PRIVATE DRAINAGE FACILITIES WITHIN SAID EASEMENTS. SAID EASEMENTS ARE IN FAVOR OF THE LOTS LISTED BELOW AS DERIVING BENEFIT. THE OWNERS OF SAID LOTS DERIVING BENEFIT SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS OR RECONSTRUCTION OF THAT PORTION OF THE PRIVATE DRAINAGE FACILITIES BELOW THEIR RESPECTIVE POINT OF CONNECTION. PRIVATE DRAINAGE FACILITIES INCLUDE ROOF DOWNSPOUT, MINOR YARD, AND FOOTING DRAINS. NO BUILDING SETBACK LINE (BSBL) IS REQUIRED FROM EASEMENTS PROVIDED FOR THESE PRIVATE DRAINAGE FACILITIES.

EASEMENTS LOCATED ON	BENEFITTING
LOTS 1, 2, 3	LOTS 2, 3, 4
LOTS 6, 7, 8	LOTS 5, 6, 7
LOTS 9, 10, 11, 12, 13, 14	LOTS 10, 11, 12, 13, 14, 15
LOTS 17, 18, 19	LOTS 16, 17, 18,
LOTS 19, 20, 21, 22, 23	LOTS 20, 21, 22, 23, 24
LOTS 26, 27	LOTS 25, 26
LOTS 27, 28, 29, 30	LOTS 28, 29, 30, 31

PRIVATE DRAINAGE EASEMENT COVENANT

THE OWNERS OF PRIVATE PROPERTY WITHIN THIS PLAT ENCUMBERED WITH DRAINAGE EASEMENTS NOTED AS "PRIVATE", HEREBY GRANT AND CONVEY TO THE KING COUNTY, A POLITICAL SUBDIVISION OF THE STATE OF WASHINGTON, THE RIGHT, BUT NOT THE OBLIGATION TO CONVEY OR STORE STORM AND SURFACE WATER PER THE ENGINEERING PLANS APPROVED FOR THIS PLAT BY KING COUNTY, TOGETHER WITH THE RIGHT OF REASONABLE ACCESS (INGRESS AND EGRESS), TO ENTER SAID DRAINAGE EASEMENTS FOR THE PURPOSE OF OBSERVING THAT THE OWNERS ARE PROPERLY OPERATING AND MAINTAINING THE DRAINAGE FACILITIES CONTAINED HEREIN.

THE BENEFICIARIES OF SAID PRIVATE DRAINAGE EASEMENTS ARE RESPONSIBLE FOR OPERATING, MAINTAINING AND REPAIRING THE DRAINAGE FACILITIES CONTAINED WITHIN SAID DRAINAGE EASEMENTS, AND ARE HEREBY REQUIRED TO OBTAIN ANY REQUIRED PERMITS, FROM KING COUNTY PRIOR TO FILLING, PIPING, CUTTING OR REMOVING VEGETATION (EXCEPT FOR ROUTINE LANDSCAPE MAINTENANCE SUCH AS LAWN MOWING) IN OPEN VEGETATED DRAINAGE FACILITIES (SUCH AS SWALES, CHANNELS, DITCHES, PONDS, ETC.), OR PERFORMING ANY ALTERATIONS OR MODIFICATIONS TO THE DRAINAGE FACILITIES, CONTAINED WITHIN SAID DRAINAGE EASEMENTS.

THIS COVENANT SHALL RUN WITH THE LAND AND IS BINDING UPON THE OWNERS OF SAID PRIVATE PROPERTY, THEIR HEIRS, SUCCESSORS AND ASSIGNS.

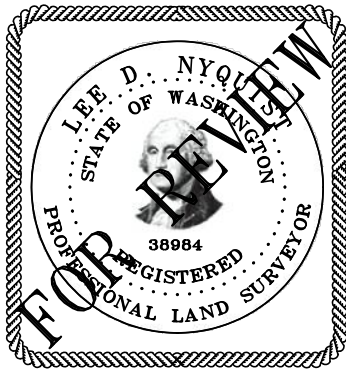
ROCKERY EASEMENT

PRIVATE EASEMENT FOR RETAINING WALLS AND ROCKERIES ARE ESTABLISHED UPON THE RECORDING OF THIS PLAT. THE FOLLOWING LOTS ARE SUBJECT TO SAID RETAINING WALL AND ROCKERY EASEMENT AS SHOWN HEREON: LOTS 17, 18, 19, 20, 21, 22, 23 24 AND TRACT P-702. SAID PRIVATE EASEMENT IS FOR THE PURPOSE OF INSTALLING AND MAINTAINING PRIVATE RETAINING WALLS, ROCKERIES, FENCING AND DRAINAGE FACILITIES WITHIN SAID EASEMENT. NO STRUCTURES OTHER THAN RETAINING WALLS, ROCKERIES, FENCES OR DRAINAGE FACILITIES SHALL BE CONSTRUCTED WITHIN THE EASEMENT. THE PURPOSE OF THE EASEMENT IS TO ESTABLISH CORRIDORS AND MAINTENANCE RESPONSIBILITY FOR THE WALLS, ROCKERIES, FENCING AND PIPING CONVEYING DRAINAGE FROM THE WALLS AND ROCKERIES CONTAINED WITHIN SAID EASEMENT.

THE OWNER(S) OF THE LOT OR TRACT ON WHICH THE PRIVATE RETAINING WALLS, ROCKERIES, FENCING AND DRAINAGE FACILITIES ARE LOCATED SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS OR RECONSTRUCTION OF SAID FACILITIES. THE ABUTTING LOT OR TRACT SHALL HAVE THE RIGHT, BUT NOT THE OBLIGATION, TO CONDUCT MAINTENANCE, REPAIRS OR RECONSTRUCTION OF SAID FACILITIES

SEATTLE CITY LIGHT EASEMENT PROVISION

AN EASEMENT FOR ELECTRICAL UTILITY PURPOSE IS HEREBY GRANTED TO THE CITY OF SEATTLE, ITS SUCCESSORS AND ASSIGNS, THE RIGHT, PRIVILEGE AND AUTHORITY TO INSTALL, CONSTRUCT, ERECT, ALTER, IMPROVE, REPAIR, ENERGIZE, OPERATE AND MAINTAIN ELECTRIC OVERHEAD AND UNDERGROUND DISTRIBUTION FACILITIES AT DEPTHS NOT EXCEEDING 15 FEET, WHICH CONSIST OF POLES WITH BRACES, GUYS AND ANCHORS, CROSSARMS, TRANSFORMERS, DUCTS, VAULTS, MANHOLES, CABINETS, CONTAINERS, CONDUITS, WIRES AND OTHER NECESSARY OR CONVENIENT APPURTENANCES TO MAKE SAID UNDERGROUND AND OVERHEAD INSTALLATIONS AN INTEGRATED ELECTRIC SYSTEM. ALL SUCH ELECTRICAL DISTRIBUTION FACILITIES TO BE LOCATED ACROSS, OVER, UPON AND UNDER ALL PARCELS, LOTS AND TRACTS WITHIN THE PLAT OF GREENBRIDGE DIVISION 7, SITUATED IN THE COUNTY OF KING, STATE OF WASHINGTON; TOGETHER WITH THE RIGHT OF INGRESS TO AND EGRESS FROM AT ALL TIMES SAID LANDS WITHIN SAID PLAT. THE CITY OF SEATTLE IS TO BE RESPONSIBLE AS PROVIDED BY LAW, FOR ANY DAMAGE THROUGH ITS NEGLIGENCE IN THE CONSTRUCTION, MAINTENANCE AND OPERATION OF SAID ELECTRIC SYSTEM ACROSS, OVER, UPON AND UNDER SAID EASEMENT AREA. THE RIGHTS, TITLE, PRIVILEGES AND AUTHORITY HEREBY GRANTED SHALL CONTINUE AND BE IN FORCE UNTIL SUCH TIME AS THE CITY OF SEATTLE, ITS SUCCESSORS AND ASSIGNS SHALL PERMANENTLY REMOVE SAID POLES, WIRES AND APPURTENANCES FROM SAID LANDS OR SHALL OTHERWISE PERMANENTLY ABANDON SAID ELECTRIC SYSTEM AT WHICH TIME ALL SUCH RIGHTS, TITLE, PRIVILEGES AND AUTHORITY HEREBY GRANTED SHALL TERMINATE.



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GREENBRIDGE DIVISION 7

PORTION OF THE N.E. 1/4 OF THE N.E. 1/4, SECTION 6, TOWNSHIP 23N, RANGE 4E W.M.
KING COUNTY, WASHINGTON

GENERAL NOTES

1.0 GENERAL RESTRICTIONS

- 1.1

ALL BUILDING DOWNSPOUTS, FOOTING DRAINS, AND DRAINS FROM ALL IMPERVIOUS SURFACES SUCH AS PATIOS AND DRIVEWAYS SHALL BE CONNECTED TO THE PERMANENT STORM DRAIN OUTLET AS SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS STRV15-0006 ON FILE WITH KING COUNTY DEPARTMENT OF PERMITTING AND ENVIRONMENTAL REVIEW (DPER) AND/OR THE KING COUNTY DEPARTMENT OF TRANSPORTATION. ALL CONNECTIONS OF THE DRAINS MUST BE CONSTRUCTED AND APPROVED PRIOR TO THE FINAL BUILDING INSPECTION APPROVAL. FOR THOSE LOTS THAT ARE DESIGNATED FOR INDIVIDUAL LOT INFILTRATION SYSTEMS, THE SYSTEMS SHALL BE CONSTRUCTED AT THE TIME OF THE BUILDING PERMIT AND SHALL COMPLY WITH PLANS ON FILE. ALL INDIVIDUAL LOT INFILTRATION SYSTEMS SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE LOT OWNER.
- 1.2

THE ROAD AND STORM DRAINAGE SYSTEMS SHALL BE CONSTRUCTED ACCORDING TO THE APPROVED PLAN AND PROFILE, PLAN NO. STRV15-0006 ON FILE WITH KING COUNTY DPER. ANY DEVIATION FROM THE APPROVED PLANS WILL REQUIRE WRITTEN APPROVAL FROM THE PROPER AGENCY, CURRENTLY DPER.
- 1.3

ALL STREET TREES WITHIN THIS PLAT SHALL BE OWNED AND MAINTAINED BY THE GREENBRIDGE ASSOCIATION UNLESS AND UNTIL KING COUNTY, OR ITS SUCCESSOR AGENCY HAS ADOPTED A MAINTENANCE PROGRAM.
- 1.4

SCHOOL IMPACT FEES: NO SCHOOL IMPACT FEES WILL BE IMPOSED ON ANY BUILDING PERMIT PER THE AGREEMENT BETWEEN THE HIGHLINE SCHOOL DISTRICT AND KING COUNTY HOUSING AUTHORITY, NOVEMBER 2012.
- 1.5

THIS PLAT IS SUBJECT TO KING COUNTY CODE 14.75, KING COUNTY ROAD MITIGATION PAYMENT SYSTEM (MPS). THE MPS FEE PLUS THE MPS ADMINISTRATION FEE SHALL BE PAID AT THE TIME OF BUILDING PERMIT APPLICATION AT THE RATE IN EFFECT AT THAT TIME.
- 1.6

THERE SHALL BE NO DIRECT VEHICULAR ACCESS FROM LOTS 28, 29, 30, AND 31 TO 4TH AVE. SW. THERE SHALL BE NO DIRECT VEHICULAR ACCESS FROM LOTS 1, 2, 3, 4, AND 9 TO SW ROXBURY STREET.
- 1.7

DEVELOPMENT ON SINGLE FAMILY LOTS WILL BE RESTRICTED TO 85% MAXIMUM IMPERVIOUS SURFACE COVERAGE, CONSISTENT WITH THE R-18 ZONE.
- 1.8

A "TRACT" PURSUANT TO KCC 19A.04.330 IS LAND RESERVED FOR SPECIFIC USES, INCLUDING BUT NOT LIMITED TO: RESERVE TRACTS, RECREATION, OPEN SPACE, CRITICAL AREA, SURFACE WATER RETENTION, UTILITIES, OR ACCESS. TRACTS ARE NOT CONSIDERED LOTS NOR CONSIDERED AS RESIDENTIAL DWELLING BUILDING SITES.
- 1.9

THE HOUSE ADDRESS SYSTEM FOR THIS PLAT SHALL BE AS FOLLOWS: ADDRESSES SHALL BE ASSIGNED FOR THE NORTH - SOUTH PORTION OF THE ROADWAY WITHIN THE RANGE OF ____ TO _____. AND WITHIN THE EAST - WEST PORTION OF THE ROADWAY WITHIN THE RANGE OF ____ TO _____. ADDRESSES SHALL BE ASSIGNED TO PRIVATE ACCESS TRACT A-701 WITHIN THE RANGE OF ____ TO _____. ADDRESSES SHALL BE ASSIGNED TO PRIVATE ACCESS TRACT A-702 WITHIN THE RANGE OF ____ TO _____. INDIVIDUAL ADDRESSES WILL BE ASSIGNED TO THE PRINCIPAL ENTRANCE OF EACH RESIDENCE OR BUILDING IN ACCORDANCE WITH KCC 16.08.
- 1.10

FIRE SPRINKLERS: FIRE SPRINKLERS ARE NOT REQUIRED IN THE RESIDENTIAL STRUCTURES OF THIS PLAT DUE TO ROAD SECTION WIDTHS. FIRE SPRINKLERS MAY BE REQUIRED DUE TO OTHER PROVISION OF THE KING COUNTY FIRE CODES OR BUILDING CODES.

2.0 CRITICAL AREA RESTRICTIONS

- 2.1

THERE ARE NO CRITICAL AREA TRACTS CREATED AS A PART OF THIS PLAT.

3.0 APPROVAL CONDITIONS AND RESTRICTIONS

THE FOLLOWING SITE SPECIFIC CONDITIONS AND RESTRICTIONS ARE CONTAINED IN THE JULY 16, 2004 KING COUNTY HEARING EXAMINER'S REPORT AND DECISION (DDES FILE NO. L03P0022 AND L03VA006), AND THE APRIL 11, 2011 KING COUNTY DDES REPORT AND DECISION (DDES FILE NO. L10S0013 AND L10VA001).

- 3.1

ALL SINGLE FAMILY RESIDENTIAL DEVELOPMENT SHALL CONFORM TO THE SITE DEVELOPMENT STANDARDS DESCRIBED IN CONDITION 2, OF THE JULY 16, 2004 HEARING EXAMINER'S REPORT AND DECISION (DDES FILE NO. L03P0022 AND L03VA006) AS SUCH STANDARDS MAY BE MODIFIED PURSUANT TO CONDITIONS 4 THROUGH 7 OF THE HEARING EXAMINER'S REPORT AND DECISION. THESE SITE DEVELOPMENT STANDARDS ARE FURTHER DESCRIBED IN AND ARE SUBJECT TO THE DECLARATION OF COVENANTS, EASEMENTS AND RESTRICTIONS RECORDED WITH THE GREENBRIDGE MASTER PLAT RECORDED UNDER KING COUNTY NO. 20051108000261 AND REPLACED WITH DOCUMENT RECORDED UNDER KING COUNTY RECORDING NO. 20071130001602, AND ASSOCIATED AMENDMENTS THERETO.
- 3.2

THE ENTIRE GREENBRIDGE PROJECT SITE SHALL HAVE A MINIMUM OF 744 DWELLING UNITS AND A MAXIMUM OF 1,100 DWELLING UNITS. THE MAXIMUM NUMBER OF LOTS CREATED TO CONTAIN SAID DWELLING UNITS MUST NOT EXCEED 721.
- 3.3

PLANTER ISLANDS, SIDEWALK FURNITURE, ART, IRRIGATION SYSTEMS, BIKE RACKS, TRASH RECEPTACLES AND BUILDING CANOPIES WITHIN THE ROAD RIGHTS-OF-WAY SHALL BE MAINTAINED BY THE GREENBRIDGE ASSOCIATION. THE RIGHTS ALLOWING THESE ITEMS TO EXIST WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE SECONDARY TO THE RIGHTS OF THE PUBLIC USE OF THE RIGHT-OF-WAY FOR ROAD AND ROAD RELATED PURPOSES.

- 3.4

NATURAL GAS UNITS ARE REQUIRED IN PLACE OF WOOD-BURNING APPLIANCES.
- 3.5

AS REQUIRED FOR THE GREENBRIDGE AND WIND ROSE PROJECT SITES COMBINED, A THREE-STAR RATING FOR THE BUILT GREEN "GREEN COMMUNITIES" PROGRAM HAS BEEN ADDRESSED FOR GREENBRIDGE. SEE DECLARATION OF COMPLIANCE WITH PLAT CONDITIONS RECORDING NUMBER 20100419001792.
- 3.6

ALL FUTURE DEVELOPMENT WITHIN LOT 32 SHALL CONFORM WITH THE SITE DEVELOPMENT STANDARDS DESCRIBED IN CONDITION 3, OF THE APRIL 11, 2011 KING COUNTY DDES REPORT AND DECISION (DDES FILE NO. L10S0013 AND L10VA001) AS SUCH STANDARDS MAY BE MODIFIED PURSUANT TO CONDITIONS 6 THROUGH 8 OF THE REPORT AND DECISION. THESE SITE DEVELOPMENT STANDARDS ARE FURTHER DESCRIBED IN, AND ARE SUBJECT TO, ATTACHMENT K OF THE REPORT AND DECISION, AS MODIFIED AND APPROVED PER MINOR MODIFICATION #1 TO THE PRELIMINARY PLAT OF WIND ROSE, APPROVED BY KING COUNTY DPER NOVEMBER 20, 2014.
- 3.7

THE FUTURE DEVELOPMENT WITHIN LOT 32 SHALL HAVE A MINIMUM OF 8 (IF LOW INCOME) OR 11 (IF MARKET RATE) DWELLING UNITS AND A MAXIMUM OF 80 DWELLING UNITS; A MAXIMUM OF 6 LOTS AND AN OPTION FOR A MAXIMUM OF 10,000 GROSS SQUARE FEET OF NON-RESIDENTIAL USES.
- 3.8

PERMIT APPLICATIONS FOR BUILDINGS OR OTHER IMPROVEMENTS CONSTRUCTED IN LOT 32 MUST BE REVIEWED BY KING COUNTY FOR COMPLIANCE WITH BEST MANAGEMENT PRACTICES (BMP'S) AND OTHER APPLICABLE DRAINAGE STANDARDS AS SPECIFIED IN THE SWDM, AND IS SUBJECT TO ENHANCED BASIC WATER QUALITY TREATMENT, PER THE KING COUNTY SURFACE WATER DESIGN MANUAL (2009) OR EQUIVALENT AS DETERMINED BY KING COUNTY, THE PERMIT APPLICANT MUST PREPARE A DRAINAGE SITE PLAN WITH PROCEDURES FOR DESIGN AND MAINTENANCE DETAILS, AND RECORD A DECLARATION OF COVENANT AND GRANT OF EASEMENT FOR IMPLEMENTATION OF THE BMPS.
- 3.9

THE FUTURE BUILDING PERMIT FOR LOT 32 MUST INCLUDE CONSTRUCTION OF FRONTAGE IMPROVEMENTS. PLAT CONSTRUCTION FOR GREENBRIDGE DIVISION 7 WILL PROTECT AND MAINTAIN, WHERE POSSIBLE, EXISTING FRONTAGE IMPROVEMENTS AT LOT 32 INCLUDING UTILITIES AND LIGHTS ON SW ROXBURY STREET AND 4TH AVENUE SW. FUTURE FRONTAGE IMPROVEMENTS FOR SW ROXBURY STREET INCLUDE IMPROVEMENT TO URBAN SUBACCESS STREET STANDARD TO THE CENTERLINE, PROVIDING A MINIMUM 20-FOOT WIDE TRAVEL WAY AND A 5-FOOT SHOULDER. AT THE INTERSECTION OF 4TH AVENUE SW AND SW ROXBURY STREET THE EXISTING SIGNAL HEAD ANGLE WILL BE ADJUSTED AS NECESSARY TO ACCOMMODATE ANY CHANGES IN FRONTAGE IMPROVEMENT CHANNELIZATION. THE 4TH AVENUE SW FRONTAGE IMPROVEMENTS INCLUDE RECONSTRUCTING, AS REQUIRED, ANY EXISTING DAMAGED SECTIONS OF SIDEWALK AND URBAN SHOULDER IMPROVEMENTS.
- 3.10

LOT 32 IS SUBJECT TO THE TREE REPLACEMENT PLAN REQUIREMENTS SET FORTH IN KCC 16.82.156. THE REQUIRED TREE REPLACEMENT PLAN SHALL BE PROVIDED AT THE TIME OF THE FUTURE BUILDING PERMIT FOR LOT 32. THE SUBSEQUENT PLANTING OF THE REQUIRED NUMBER OF TREES, PER THE ABOVE KING COUNTY CODE SECTION, SHALL OCCUR AT THE TIME OF CONSTRUCTION FOR THE FUTURE DEVELOPMENT.
- 3.11

ALL REQUIRED SOIL AMENDMENTS FOR LOT 32, PER KCC 16.82.100, SHALL BE ADDRESSED AND COMPLETED AT THE TIME OF THE BUILDING PERMIT FOR LOT 32 OR WITHIN 5 YEARS OF THE RECORDING OF THE FINAL PLAT, WHICHEVER COMES FIRST. THE REQUIRED AMENDMENTS SHALL ONLY OCCUR BETWEEN MAY 1 AND OCTOBER 1. ANY COMPOST USED IN THE AMENDMENT TO ACHIEVE THE REQUIRED SOIL ORGANIC MATTER CONTENT, SHALL COMPLY WITH THE DEFINITION OF "COMPOSTED MATERIALS" SET FORTH IN WAC 173-350-220.

4.0 TRACT OWNERSHIP AND USES

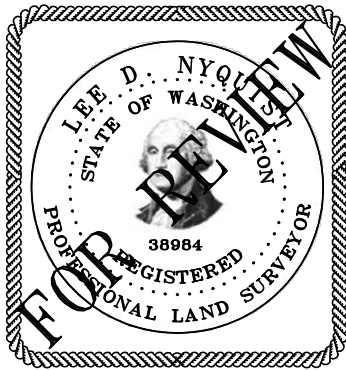
- 4.1

TRACTS A-701 (3RD PL SW) AND A-702 (SW 98TH PL.) ARE PRIVATE ACCESS TRACTS FOR INGRESS AND EGRESS AND, UPON THE RECORDING OF THIS PLAT, ARE HEREBY CONVEYED TO THE KING COUNTY HOUSING AUTHORITY. MAINTENANCE OBLIGATIONS OF SAID TRACTS SHALL BE THE RESPONSIBILITY OF THE OWNER OF SAID TRACTS. UPON THE RECORDING OF THIS PLAT, SAID PRIVATE ACCESS TRACTS ARE SUBJECT TO A UTILITY EASEMENT OVER, UNDER AND ACROSS ITS ENTIRETY. SEE UTILITY EASEMENT PROVISIONS SHEET 4. SAID TRACTS A-701 AND A-702 ARE ALSO SUBJECT TO A PUBLIC DRAINAGE EASEMENT OVER AND ACROSS ITS ENTIRETY. SEE DRAINAGE EASEMENT RESTRICTIONS AND KING COUNTY DRAINAGE EASEMENT AND COVENANT SHEET 4.
- 4.2

TRACTS P-701 AND P-702 ARE RECREATION TRACTS FOR PRIVATE PARK PURPOSES AND, UPON THE RECORDING OF THIS PLAT, ARE HEREBY CONVEYED TO THE KING COUNTY HOUSING AUTHORITY. THE OWNER(S) OF SAID TRACTS ARE RESPONSIBLE FOR THE MAINTENANCE OF SAID TRACTS. TRACT P-701 IS SUBJECT TO A PUBLIC DRAINAGE EASEMENT OVER AND ACROSS ITS ENTIRETY. SEE DRAINAGE EASEMENT RESTRICTIONS AND KING COUNTY DRAINAGE EASEMENT AND COVENANT SHEET 4.
- 4.3

TRACT RD-701, UPON THE RECORDING OF THIS PLAT, IS HEREBY DEDICATED AND CONVEYED TO KING COUNTY FOR STORM DRAINAGE FACILITIES PURPOSES. KING COUNTY SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID TRACT AND THE IMPROVEMENTS CONTAINED THEREIN.
- 4.4

TRACT OS-701 IS AN OPEN SPACE TRACT AND, UPON THE RECORDING OF THIS PLAT, IS HEREBY CONVEYED TO THE KING COUNTY HOUSING AUTHORITY. THE OWNER OF SAID TRACT IS RESPONSIBLE FOR THE MAINTENANCE OF SAID TRACT. TRACT OS-701 IS SUBJECT TO A PUBLIC DRAINAGE EASEMENT OVER AND ACROSS ITS ENTIRETY. SEE DRAINAGE EASEMENT RESTRICTIONS AND KING COUNTY DRAINAGE EASEMENT AND COVENANT SHEET 4.



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GREENBRIDGE DIVISION 7

PORTION OF THE N.E. 1/4 OF THE N.E. 1/4, SECTION 6, TOWNSHIP 23N, RANGE 4E W.M.
KING COUNTY, WASHINGTON

LINE TABLE		
LINE NO.	BEARING	DISTANCE
L2	N86° 25' 11"E	10.47
L3	N88° 23' 33"W	10.63
L4	N1° 36' 27"E	13.00
L5	N86° 25' 11"E	10.47
L13	N1° 36' 27"E	26.00
L14	N47° 34' 52"W	30.58
L16	N3° 40' 19"W	12.05

CURVE TABLE			
CURVE NO.	RADIUS	DELTA ANGLE	ARC LENGTH
C1	R=100.00	D=5°11'16"	9.05
C3	R=87.00	D=5°11'16"	7.88
C4	R=113.00	D=5°11'16"	10.23
C7	R=77.00	D=10°34'39"	14.22
C9	R=77.00	D=11°53'09"	15.97
C11	R=77.00	D=32°47'35"	44.07

LEGEND

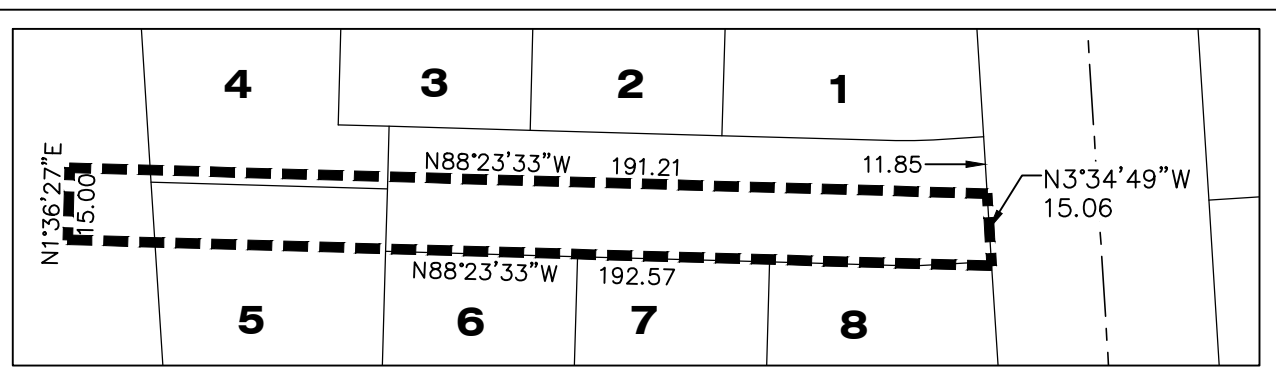
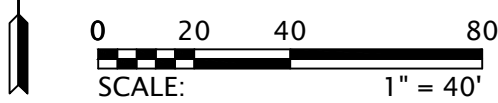
- R= RADIUS
D= DELTA
A= ARC LENGTH
MONUMENT TO BE SET PER THIS PLAT
LOT CORNER TO BE SET PER THIS PLAT
EASEMENT LINE
AREA OF PRIVATE DRAINAGE EASEMENT (E-4)
COINCIDENT WITH UTILITY EASEMENT (E-1)

EASEMENT LEGEND

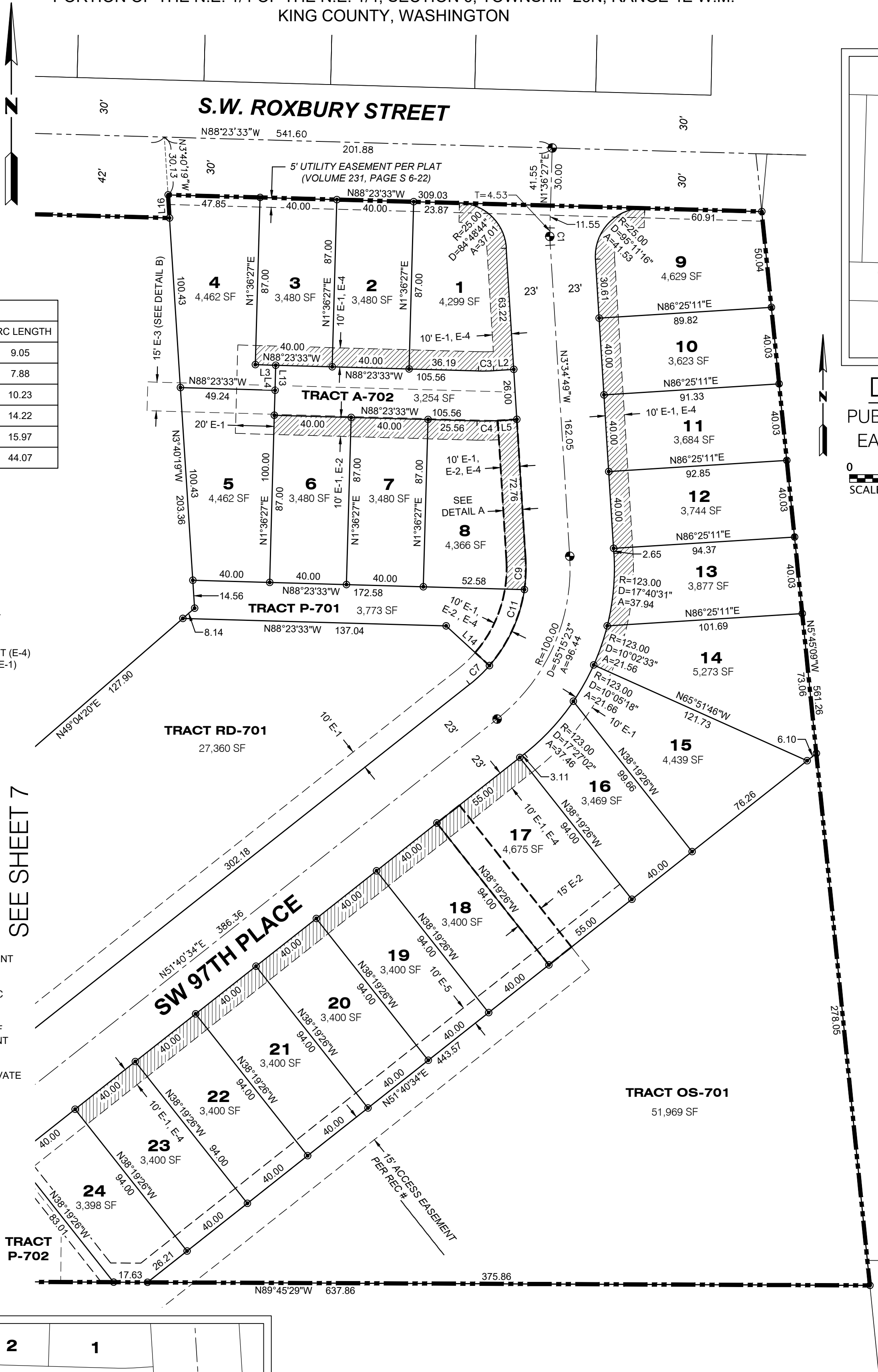
- E-1 UTILITY EASEMENT. SEE UTILITY EASEMENT PROVISIONS NOTE, SHEET 4.
E-2 PUBLIC DRAINAGE EASEMENT. SEE PUBIC DRAINAGE EASEMENT NOTES, SHEET 4.
E-3 UTILITY EASEMENT FOR THE PURPOSE OF SANITARY SEWER. SEE UTILITY EASEMENT PROVISIONS NOTE, SHEET 4.
E-4 PRIVATE DRAINAGE EASEMENT. SEE PRIVATE DRAINAGE EASEMENT NOTES, SHEET 4.
E-5 ROCKERY EASEMENT. SEE ROCKERY EASEMENT NOTE, SHEET 4.

DETAIL B

UTILITY EASEMENT
FOR THE PURPOSE OF
SANITARY SEWER (E-3)



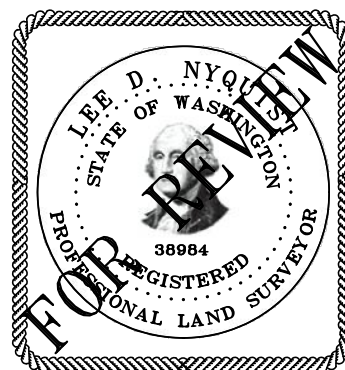
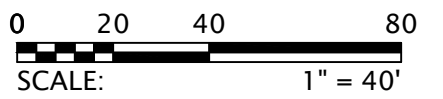
S.W. ROXBURY STREET



TRACT
A-702

TRACT
P-701

DETAIL A
PUBLIC DRAINAGE
EASEMENT (E-2)



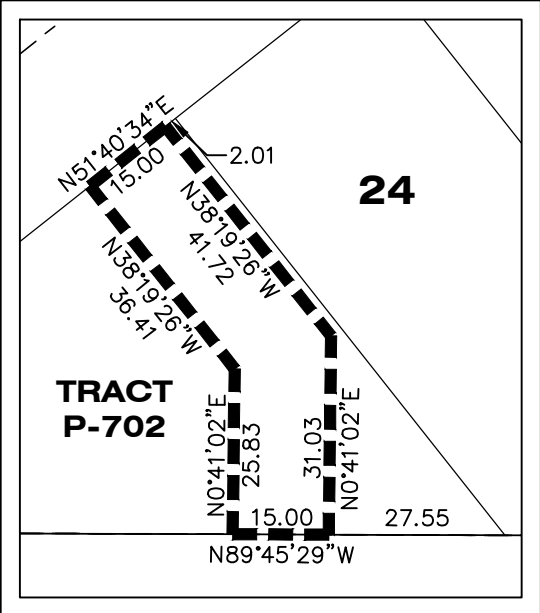
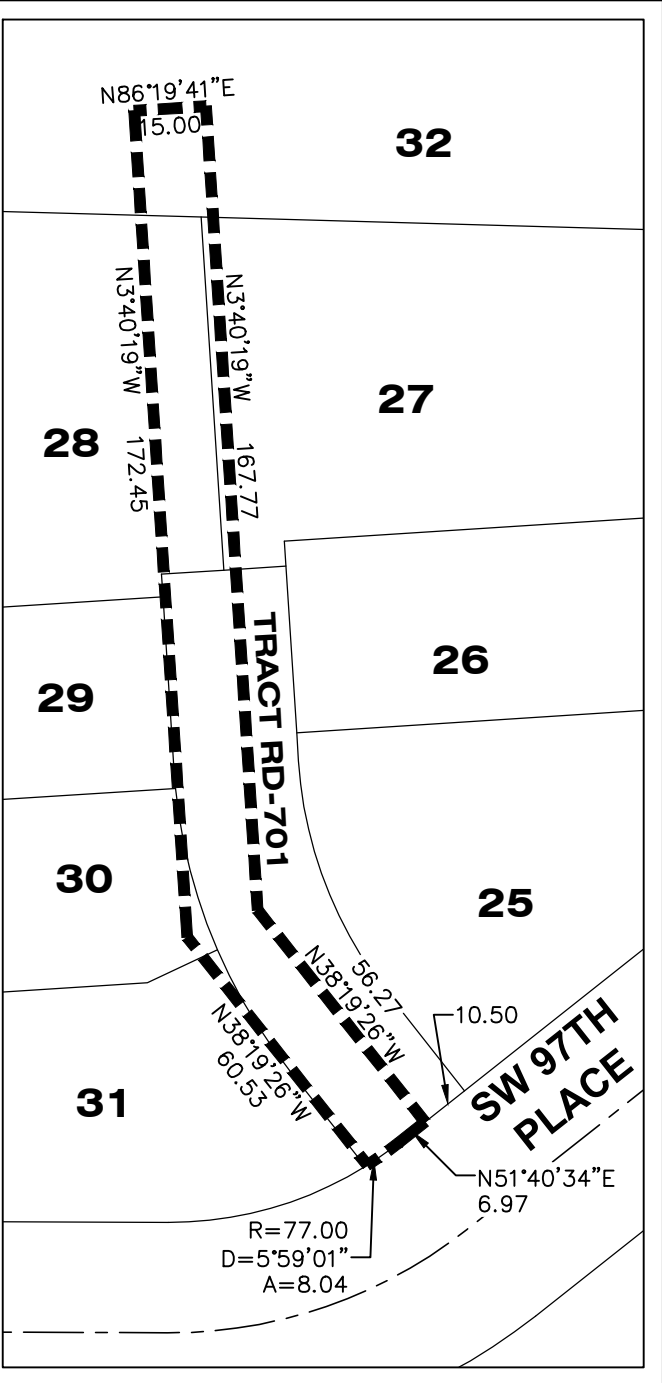
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GREENBRIDGE DIVISION 7

PORTION OF THE N.E. 1/4 OF THE N.E. 1/4, SECTION 6, TOWNSHIP 23N, RANGE 4E W.M.
KING COUNTY, WASHINGTON

LINE TABLE		
LINE NO.	BEARING	DISTANCE
L1	N84° 51' 44"E	47.04
L6	N38° 19' 26"W	25.85
L7	N86° 19' 41"E	13.00
L8	N86° 19' 41"E	13.00
L9	N3° 40' 19"W	4.70
L10	N64° 47' 13"E	16.16
L11	N38° 19' 26"W	25.38
L12	N86° 19' 41"E	26.00
L15	N88° 23' 33"W	12.05
L16	N3° 40' 19"W	12.05

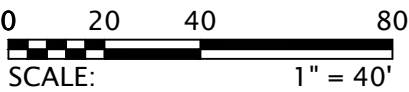
CURVE TABLE			
CURVE NO.	RADIUS	DELTA ANGLE	ARC LENGTH
C2	R=100.00	D=5°22'48"	9.39
C6	R=113.00	D=2°02'48"	4.04
C7	R=77.00	D=32°12'29"	43.28
C8	R=77.00	D=6°21'28"	8.54
C10	R=25.00	D=47°09'23"	20.58



DETAIL D
UTILITY EASEMENT
FOR THE PURPOSE OF
SANITARY SEWER (E-3)



DETAIL C
UTILITY EASEMENT
FOR THE PURPOSE OF
SANITARY SEWER (E-3)



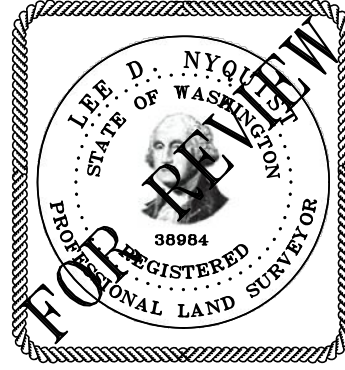
EASEMENT LEGEND

- E-1 UTILITY EASEMENT. SEE UTILITY EASEMENT PROVISIONS NOTE, SHEET 4.
- E-2 PUBLIC DRAINAGE EASEMENT. SEE PUBIC DRAINAGE EASEMENT NOTES, SHEET 4.
- E-3 UTILITY EASEMENT FOR THE PURPOSE OF SANITARY SEWER. SEE UTILITY EASEMENT PROVISIONS NOTE, SHEET 4.
- E-4 PRIVATE DRAINAGE EASEMENT. SEE PRIVATE DRAINAGE EASEMENT NOTES, SHEET 4.
- E-5 ROCKERY EASEMENT. SEE ROCKERY EASEMENT NOTE, SHEET 4.

LEGEND

- R= RADIUS
- D= DELTA
- A= ARC LENGTH
- MONUMENT TO BE SET PER THIS PLAT
- LOT CORNER TO BE SET PER THIS PLAT
- EASEMENT LINE
- AREA OF PRIVATE DRAINAGE EASEMENT (E-4) COINCIDENT WITH UTILITY EASEMENT (E-1)

ACTIVITY NO.
PROJECT NO.
DDES FILE NO.



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SEE SHEET 6

GREENBRIDGE DIVISION 7

PORTION OF THE N.E. 1/4 OF THE N.E. 1/4, SECTION 6, TOWNSHIP 23N, RANGE 4E W.M.
KING COUNTY, WASHINGTON

S.W. ROXBURY STREET

4TH AVENUE S.W.

SW 97TH PLACE

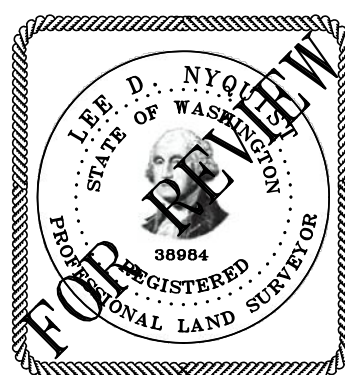
PORTION OF 15' SANITARY SEWER
EASEMENT PER REC #20051010000013 &
#20120516000503 TO BE EXTINGUISHED
UNDER SEPARATE DOCUMENT

LEGEND

- R= RADIUS
- D= DELTA
- A= ARC LENGTH
- MONUMENT TO BE SET PER THIS PLAT
- LOT CORNER TO BE SET PER THIS PLAT
- EASEMENT LINE
- ▨ AREA OF PRIVATE DRAINAGE EASEMENT (E-4)
COINCIDENT WITH UTILITY EASEMENT (E-1)

ACTIVITY NO.
PROJECT NO.
DDES FILE NO.

0 25 50 100 150
SCALE: 1" = 50'



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SHEET 8 OF 8

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