KCHA PEPPER TREE ENVELOPE

SHKS ARCHITECTS

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ABBREVIATIONS

&	AND
L	ANGLE
@	AT
⌀	DIAMETER
#	POUND OR NUMBER
(E)	EXISTING
℄	CENTERLINE
℄	PROPERTY LINE
A.B.	ANCHOR BOLT
ABV	ABOVE
AC	AIR CONDITIONING
ACP	ACOUSTIC CEILING PANEL
ACU	AIR CONDITION UNIT
ADJ	ADJUSTABLE
AFF	ABOVE FINISHED FLOOR
ALT	ALTERNATE
ALUM	ALUMINUM
APPROX	APPROXIMATELY
ARCH	ARCHITECT, ARCHITECTURAL
BLDG	BUILDING
BLW	BELOW
BM	BEAM
B.O.	BOTTOM OF
BRS	BACKER ROD & SEALANT
CB	CATCH BASIN
CBB	CEMENT BACKER BOARD
CEM	CEMENT
CJ	CONTROL JOINT
CL	CENTERLINE
CLG	CEILING
CLR	CLEAR
CO	CLEAN OUT
COL	COLUMN
CONC	CONCRETE
COND	CONDITION
CONT	CONTINUOUS
CPT	CARPET
CT	CERAMIC TILE
CTR	CENTER
DBL	DOUBLE
DEMO	DEMOLISH
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIFF	DIFFUSER
DIM	DIMENSION
DISP	DISPENSER
DN	DOWN
DR	DOOR
DS	DOWNSPOUT
DTL	DETAIL
DW	DISHWASHER
E	EAST
EA	EACH
ECS	EXTERIOR COMPOSITE SIDING
EF	EXHAUST FAN
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATOR
EMERG	EMERGENCY
EQ	EQUAL
EXP	EXPANSION
EXT	EXTERIOR
FBP	FIBER BOARD PANEL
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FF	FINISH FLOOR
FH	FIRE HYDRANT
FIN	FINISH
FLR	FLOOR
F.O.	FACE OF
FOIC	FURNISHED BY OWNER, INSTALL BY CONTRACTOR
FOIO	FURNISHED BY OWNER INSTALL BY OWNER
FR	FIRE RESISTANT
FS	FLOOR SINK
FT	FEET
GA	GAUGE
GALV	GALVANIZED
GB	GRAB BAR
GC	GENERAL CONTRACTOR
GL	GLASS
GLB	GLU-LAM BEAM
GND	GROUND
GR	GRADE
GRT'D	GROUTED
GWB	GYPSUM WALL BOARD
HB	HOSE BIBB
HC	HANDICAP
HCMU	HOLLOW CLAY MASONRY UNIT
HDWD	HARDWOOD
HDWE	HARDWARE
HT	HEIGHT
HM	HOLLOW METAL
HR	HOUR
HORIZ	HORIZONTAL
I.D.	INSIDE DIAMETER
INSUL	INSULATION
INT	INTERIOR
JAN	JANITOR
JT	JOINT
KIT	KITCHEN
LAB	LABORATORY
LAM	LAMINATE
LAV	LAVATORY
LKR	LOCKER
LOC	LOCATE
LT	LIGHT
LVL	LAMINATED VENEER LUMBER
M	MEN'S
MATL	MATERIAL
MAX	MAXIMUM
MC	MEDICINE CABINET
MECH	MECHANICAL
MEMB	MEMBRANE
MFR	MANUFACTURER
MIN	MINIMUM
MIR	MIRROR
MISC	MISCELLANEOUS
MH	MANHOLE
MO	MASONRY OPENING
MTD	MOUNTED
MTL	METAL
MULL	MULLION
N	NORTH
NA	NOT APPLICABLE
NIC	NOT IN CONTRACT
NOM	NOMINAL
NTS	NOT TO SCALE
NR	NOT RATED
OA	OVERALL
OBS	OBSCURE
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
OFF	OFFICE
OPNG	OPENING
OPP	OPPOSITE
PC	PRECAST CONCRETE
PL	PLATE
PLAS	PLASTER
PLY	PLYWOOD
P.LAM	PLASTIC LAMINATE
PNT	PAINT
POC	POINT OF CONNECTION
PR	PAIR
PSL	PARALLEL STRAND LUMBER
PT	PRESSURE TREATED
PTN	PARTITION
QT	QUARRY TILE
R or RAD	RADIUS
RB	RESILIENT BASE
RCP	REFLECTED CEILING PLAN
RD	ROOF DRAIN
REF	REFERENCE
REFR	REFRIGERATOR
REINF	REINFORCED
RELOC	RELOCATE
REQ'D	REQUIRED
RES	RESILIENT
RM	ROOM
RO	ROUGH OPENING
RV	ROOF VENT
RL	RAIN WATER LEADER
S	SOUTH
SA	SMOKE ALARM
SC	SOLID CORE
SCHED	SCHEDULE
SECT	SECTION
SG	SAFETY GLASS
SHT	SHEET
SIM	SIMILAR
SPEC	SPECIFICATION
SQ	SQUARE
S.S.	STAINLESS STEEL
STA	STATION
STD	STANDARD
STL	STEEL
STN	STAIN
STOR	STORAGE
STRUCT	STRUCTURE
SOG	SLAB ON GRADE
SUSP	SUSPENDED
SYM	SYMMETRICAL
T, TMP	TEMPERED
T&G	TONGUE & GROOVE
TEL	TELEPHONE
TER	TERRAZZO
THK	THICK
T.O.	TOP OF
TS	TUBE STEEL
TV	TELEVISION
TYP	TYPICAL
UL	UNDERWRITERS' LABORATORIES
UNO	UNLESS NOTED OTHERWISE
UTIL	UTILITY
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL
VEST	VESTIBULE
VIF	VERIFY IN FIELD
VTR	VENT THRU ROOF
W	WEST
W/	WITH
WC	WATER CLOSET
WD	WOOD
WF	WIDE FLANGE
WIN	WINDOW
W/O	WITHOUT
WOM	WALK OFF MAT
WM	WOMENS
WP	WATERPROOFING
WR	WATER RESISTANT
WRB	WATER-RESISTIVE BARRIER
WSCT	WAINSCOT
WT	WEIGHT

DRAFTING SYMBOLS

WALL SECTION — 1 / A101, SIM

BLDG SECTION — 1 / A101, SIM

EXTERIOR ELEVATION — 1 / A101

INTERIOR ELEVATION — 1 / A101

DETAIL — 1 / A101, SIM

NORTH ARROW

GRID HEAD — 0

ROOM NAME — 101

WINDOW & STOREFRONT TAG — 1i

FLOOR, WALL, CEILING OR ROOF TAG — R1

CASEWORK TAG — C1

DOOR TAG — 1i

KEY NOTE — 1

ELEVATION NOTE — NAME, ELEVATION

SPOT ELEVATION — XXX, T.O. XXX

CENTERLINE

PROPERTY LINE

FLOOR TRANSITION — XXX, XXX

REVISION — 1, DESCRIPTION

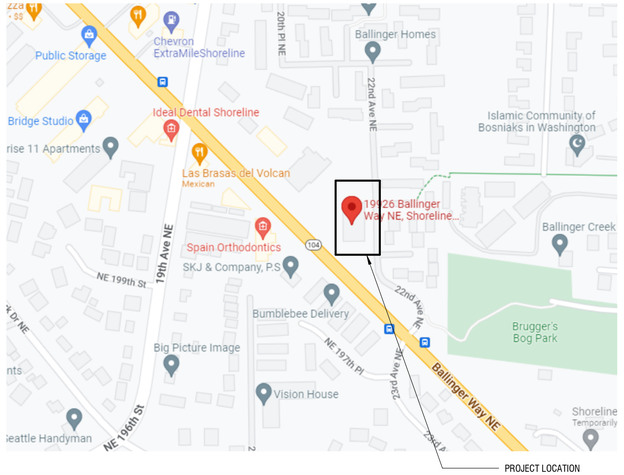
BREAKLINE

DIMENSION POINT

ENLARGED DETAIL CALLOUT — 1 / A101, SIM

MATERIAL SYMBOLS

BATT INSULATION
CONCRETE
RIGID INSULATION
EARTH
GRAVEL
WOOD
MASONRY
PLYWOOD
STEEL



1 VICINITY MAP

GENERAL NOTES

1. WHERE CONFLICTS OCCUR, THE SCOPE OF WORK TAKES PRECEDENCE OVER SPECIFICATIONS, AND SPECIFICATIONS TAKE PRECEDENCE OVER THE DRAWINGS.
2. MATERIALS, ASSEMBLIES AND NOTED ITEMS ARE NEW UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL VERIFY CONDITIONS. NOTIFY THE ARCHITECT OF ANY CONDITIONS INCONSISTENT WITH THE INTENT OF THE DRAWINGS PRIOR TO STARTING OR CONTINUING WORK IN THE AREA CONCERNED.

CODE:
1. ALL WORK SHALL CONFORM TO APPLICABLE CODES AND LOCAL BUILDING REQUIREMENTS, WHICH INCLUDE THE MOST CURRENT EDITIONS OF THE INTERNATIONAL BUILDING CODE WITH LOCAL AMENDMENTS.
2. EXISTING FIRE EXTINGUISHERS AND CABINETS ARE NOT SHOWN ON PLANS. PROTECT EXISTING FIRE EXTINGUISHERS AND CABINETS (RECESSED OR SURFACE MOUNTED) FROM DAMAGE.

HAZMAT:
1. HAZARDOUS MATERIAL REMOVAL & DISPOSAL- BEFORE BEGINNING ANY DEMOLITION OR OTHER WORK, COMPLY WITH DOCUMENTS PREPARED BY THE OWNER'S HAZARDOUS MATERIALS CONSULTANT. THIS APPLIES TO DEMOLITION, DISPOSAL AND CONSTRUCTION OPERATIONS ASSOCIATED WITH THE PROJECT. THE CONTRACTOR WILL SUSPEND WORK IMMEDIATELY AND NOTIFY THE OWNER IF MATERIALS SUSPECTED OF BEING HAZARDOUS, AND NOT PREVIOUSLY IDENTIFIED, ARE ENCOUNTERED IN THE COURSE OF THE CONTRACTOR'S WORK.

DEMOLITION:
1. WHERE ITEMS ARE INDICATED ON PLANS TO BE DEMOLISHED, IT SHALL MEAN THE COMPLETE REMOVAL AND DISPOSAL OF THE ITEM INDICATED UNLESS OTHERWISE NOTED. CONTRACTOR IS RESPONSIBLE FOR REVIEW OF THE HAZARDOUS MATERIALS ABATEMENT, ARCHITECTURAL, DRAWINGS AND SPECIFICATIONS FOR CUTTING AND PATCHING WORK.
2. "REMOVE" MEANS TO COMPLETELY AND PERMANENTLY REMOVE FROM THE PROJECT.

DIMENSIONS:
1. DO NOT SCALE DRAWINGS.
2. VERIFY DIMENSIONS SHOWN ON DRAWINGS. USE ONLY DIMENSIONS INDICATED. PRIOR TO STARTING OR CONTINUING WORK, NOTIFY ARCHITECT OF DISCREPANCIES OR CONDITIONS INCONSISTENT WITH THE INTENT OF THE CONSTRUCTION DOCUMENTS.
3. DIMENSIONS ARE TO FACE OF CONCRETE, FACE OF MASONRY, OR FACE OF EXISTING FINISH UNLESS OTHERWISE NOTED.
4. VERTICAL DIMENSIONS ARE MEASURED FROM STRUCTURAL SLAB, TOP OF STEEL OR TOP OF SHEATHING, UNLESS NOTED OTHERWISE.
5. DOORS NOT LOCATED BY DIMENSION ON PLANS SHALL BE SIX INCHES FROM FACE OF ADJOINING PARTITION TO HINGE EDGE OF DOOR OPENING. PROVIDE MINIMUM 18" CLEAR FROM FACE OF ADJOINING PARTITION OR OTHER OBSTRUCTION TO JAMB EDGE OF DOOR OPENING, UNLESS OTHERWISE NOTED. NOTIFY ARCHITECT IF REQUIRED CLEARANCES ARE NOT AVAILABLE.

COORDINATION:
1. COORDINATE ALL OPERATIONS WITH OWNER, SUCH AS AREAS USED FOR MATERIAL STORAGE, ACCESS TO AND FROM THE SITE, TIMING OF WORK AND REQUIREMENTS OF NOISE ORDINANCE. INSTALL DUST AND NOISE BARRIERS AS REQUIRED TO PROTECT EXISTING ADJACENT BUILDINGS AND OCCUPANTS AND TO MAINTAIN AN ENVIRONMENT SUITABLE TO PERMIT CONTINUED OCCUPANCY OF SUBJECT AND ADJACENT BUILDINGS.
2. REVIEW DEMOLITION DRAWINGS. PATCH AND REPAIR ALL EXISTING SURFACES AFFECTED BY DEMOLITION WORK.
3. COORDINATE AND PROVIDE REQUIRED PENETRATIONS AND PATCHING WITH INDIVIDUAL SUBCONTRACTORS TO SUIT NEW WORK.
4. CONTRACTOR TO OBTAIN AND VERIFY ROUGH-IN DIMENSION REQUIREMENTS FOR DOORS, ACCESSORIES AND THE LIKE INCLUDING THOSE DESIGNATED FOIC AND FOIO. CONTRACTOR TO PROVIDE BACKING, BLOCKING, SUPPORT AS REQUIRED FOR INSTALLATION. CONTRACTOR TO COORDINATE REQUIREMENTS FOR FOIC AND FOIO EQUIPMENT WHERE SERVICES ARE REQUIRED. INCLUDE STUB OUTS AND CONNECTIONS. VERIFY AND COORDINATE DIMENSIONS OF FOIC AND FOIO ITEMS PRIOR TO PROCEEDING WITH WORK. INCLUDE STUB OUTS FOR FUTURE WORK..
5. CAREFULLY COORDINATE INSTALLATIONS WITH EXISTING STRUCTURE AND BUILDING SYSTEMS.

PROJECT INFORMATION

PROJECT OWNER:
KING COUNTY HOUSING AUTHORITY

PROJECT MANAGER:
AMY KURTZ
700 ANDOVER PARKWAY
SEATTLE WA 98188
TEL: 206.574.1283
EMAIL: Amyk@kcha.org

PROJECT ADDRESS:
19926 BALLINGER WAY NE
SHORLINE, WA 98155

SCOPE DESCRIPTION:
EXTERIOR ENVELOPE UPGRADES INCLUDING REPLACEMENT OF EXTERIOR SIDING, SHEATHING, TRIM, WEATHER PROOFING, WINDOWS, DOORS, AND LIGHTING. DECK MAINTENANCE AND REPAIR, INCLUDING THE REPLACEMENT OF THE DECK RAILING AND DECK MEMBRANE.

ZONING ANALYSIS

PARCEL NUMBER: 2636900188

LEGAL DESCRIPTION: FRAUENTHAL BROS TRS UNREC POR LOTS 3 & 4 KCSP #380012 REC # 8007100678 SD SP DAF - POR OF E 1/2 OF NW 1/4 OF STR 04-26-04 TGW POR OF LOT 3 BLK 3 PLAT OF ROSE ADD #2 DAF - BEG AT NW COR OF S 1/2 OF N 1/2 OF E 1/2 OF NW 1/4 OF SD SEC 4 TH S 00-12-34 E ALG W LN OF E 1/2 OF NW 1/4 OF SD SEC 4 A DIST OF 373.86 FT TO NE COR OF SD LOT 3 BLK 3 - SD PT BEING MOST WLY SLY COR OF TR OF LAND CONVEYED UNDER AF# 6326269/CORRECTED BY 6338329 & TPOB TH S 62-47-14 E ALG SLY LN OF SD TR 435.41 FT M/L TO ANGLE COR IN SD TR OF LAND TH S 00-12-34 E ALG W LN OF SD TR 440 FT TO AN NXN WITH NELY MGN OF BALLINGER RD TH N 43-51-05 W ALG SD NELY MGN 652.06 FT TO W LN OF A TR OF LAND CONVEYED TO RAYMOND A ANDERSON UNDER AF #6284156 TH N 00-12-34 W 85.79 FT ALG SD W LN TO ANGLE PT IN SD ANDERSON TR TH CONTG ALG W LN OF SD ANDERSON TR - N 32-10-53 E 100.23 FT TO N LN OF SD LOT 3 BLK 3 SD SUBD TH S 79-59-31 E ALG SD N LN 10 FT TO TPOB --- SD POR LOTS 3&4 DAF-BEG AT MOST SLY COR SD LOT 4 TH NLY ALG WLY LN SD LOT 4 TO NE COR SD LOT 4 TH S 45-41-29 W 303.68 FT TO SWLY LN SD LOT 3 TH TH SELY 315.99 FT TO POB - AKA LOT 8 KC LLA #981039 REC 8109300528

LOT AREA: 47,979 SQ FT / 1.1 ACRES

ZONE: R48

CURRENT USE (OCCUPANCY): APARTMENT (R-2)

YEAR BUILT: 1985

TYPE OF CONSTRUCTION:
TYPE V 1-HOUR PER 1985 UBC, ASSUMED TYPE V-A EQUIVALENT

(E) BLDG AREA: 25,077 SQ FT (GROSS) / 19,872 SQ FT (NET)

(E) LOT COVERAGE: APPROX 47,979 SQ FT

(E) HEIGHT: 3 STORIES

PARKING QUANTITY: NO CHANGE

REQUIRED SETBACKS: NO CHANGE

DESIGN TEAM

ARCHITECT:
SHKS ARCHITECTS
1050 NORTH 38TH ST
SEATTLE, WA 98103
CONTACT: LEVI JETTE
TEL: 206.223.3317
EMAIL: LEVIJ@SHKSARCHITECTS.COM

STRUCTURAL:
PCS STRUCTURAL SOLUTIONS
WATERFRONT PLACE
1011 WESTERN AVENUE, SUITE 810
SEATTLE WA 98104
CONTACT: DAN TAPPEL
TEL: 206.292.5076
EMAIL: DTAPPEL@PCS-STRUCTURAL.COM

SHEET INDEX

A0.0	COVER SHEET
A1.0	SITE PLAN
AD2.0	DEMO PLANS
AD2.1	DEMO ELEVATIONS
A2.0	FLOOR PLANS
A2.1	EXTERIOR ELEVATIONS
A2.2	DECKS - PLANS AND ELEVATIONS
A8.0	WALL ASSEMBLY AND EXTERIOR DETAILS
A8.1	EXTERIOR BALCONY DETAILS
A8.2	DOOR DETAILS
A8.3	WINDOW DETAILS
S0.1	GENERAL NOTES
S0.2	GENERAL NOTES
S2.0	FIRST/SECOND FLOOR PLAN
S2.1	FHIRD FLOOR/ROOF PLAN
S3.0	DETAILS

APPLICABLE CODES

- 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
- SHORELINE MUNICIPAL CODE
- 2018 INTERNATIONAL BUILDING CODE W/ WASHINGTON STATE AMENDMENTS
- 2018 INTERNATIONAL EXISTING BUILDING CODE
- ALL CODES ADOPTED AND AMENDED BY THE STATE BUILDING CODE COUNCIL IN CHAPTER 51 WA

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BID SET

19926 BALLINGER WAY NE
SHORELINE,WA 98155

Drawn by: FC
Checked: LJ
Date: 07/12/2023
Scale: As indicated

Revisions:

No.	Date	Remarks

COVER SHEET
A0.0

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1 SITE PLAN
1" = 30'-0"

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SITE PLAN
A1.0

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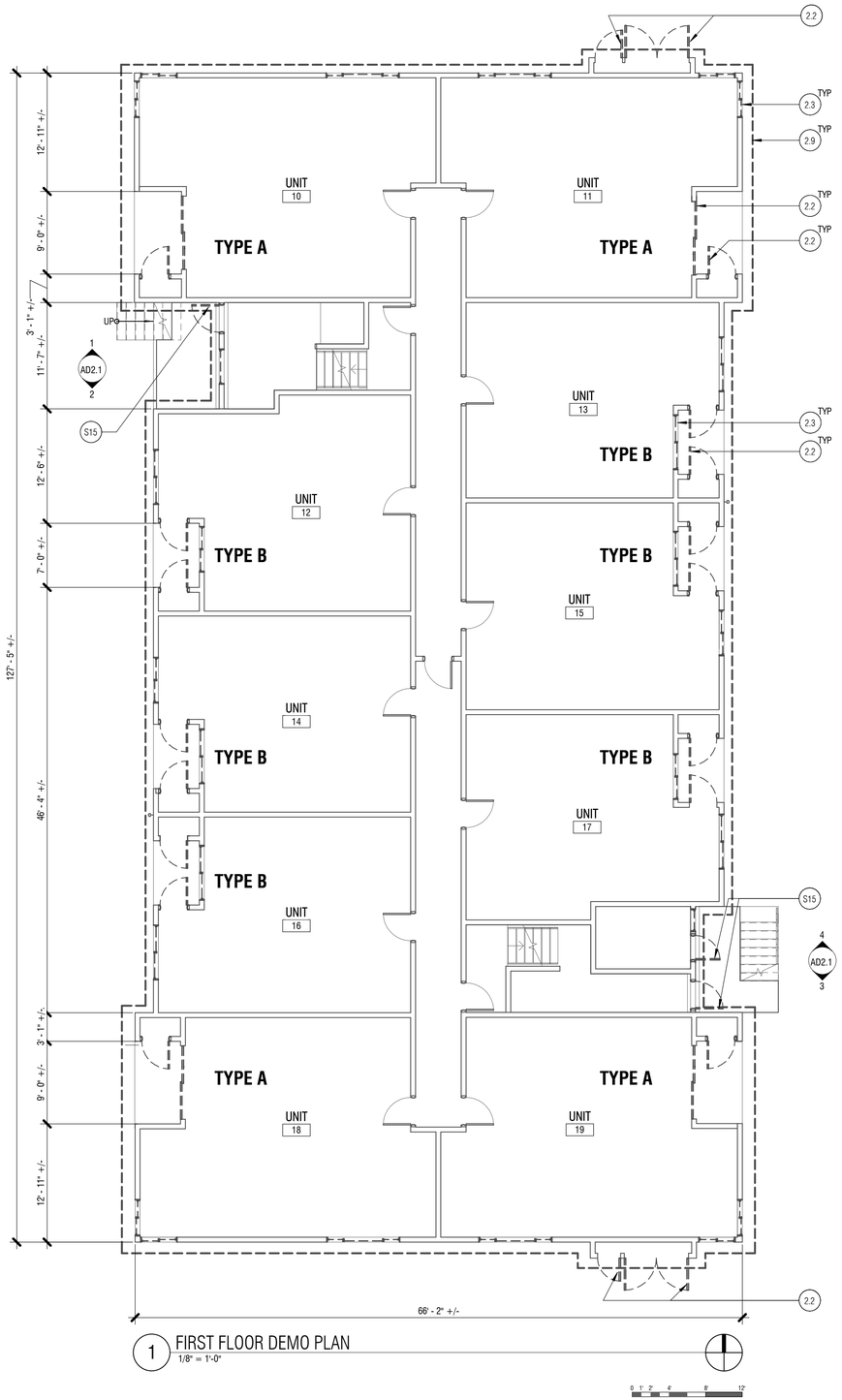
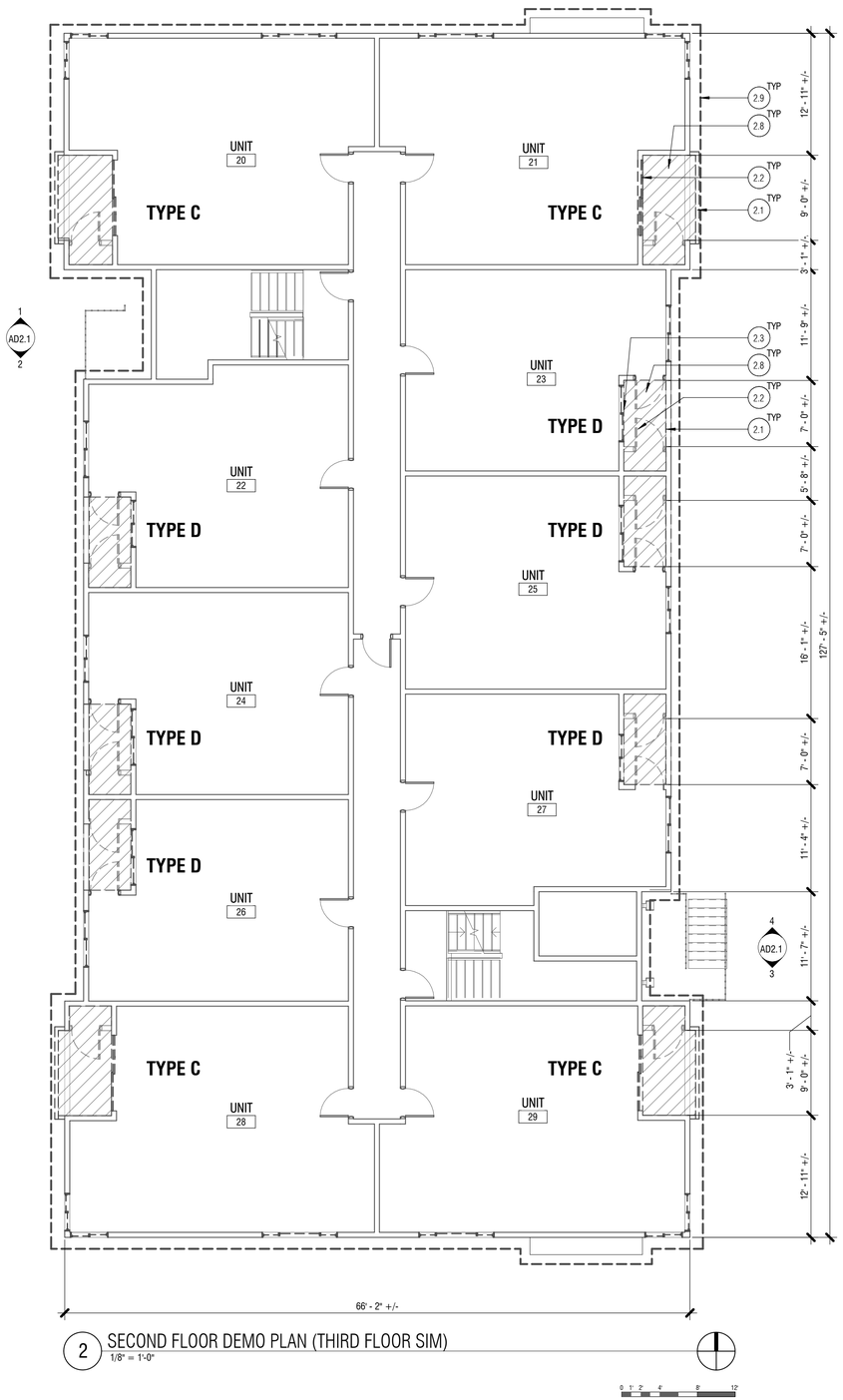


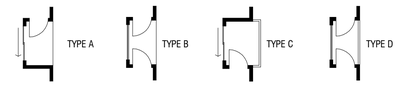
1 FIRST FLOOR DEMO PLAN
1/8" = 1'-0"



2 SECOND FLOOR DEMO PLAN (THIRD FLOOR SIM)
1/8" = 1'-0"

KEYNOTE LEGEND

MARK	KEYNOTE TEXT
2.1	DEMO (E) DECK HALF WALL
2.2	DEMO (E) DOOR, (E) DOOR FRAME, (E) DOOR HARDWARE, (E) EXTERIOR TRIM, AND (E) INTERIOR TRIM
2.3	DEMO (E) WINDOW, (E) WINDOW FRAME, AND (E) EXTERIOR TRIM
2.8	REMOVE (E) DECK FINISH AND REPAIR (E) CONC SUBSTRATE, ASSUME 10% OF SUBSTRATE REQUIRES PATCHING AND REPAIR AND PROVIDE UNIT PRICING FOR ADDITIONAL CONC REPAIR
2.9	DEMO (E) FIBER CEMENT SIDING, (E) TRIM, (E) WRB, (E) 1/2" RIGID INSULATION, (E) ASPHALT FELT UNDERLAYMENT, AND (E) EXTERIOR GYPSUM WALL SHEATHING
S15	SALVAGE (E) DOOR PANEL, DOOR HARDWARE FOR REFINISHING AND REINSTALLATION



REF. 1 / A2.2 | REF. 6 / A2.2 | REF. 11 / A2.2 | REF. 16 / A2.2

DEMO LEGEND:

- DEMOLISH
- (E) WALL
- DEMO (E) SIDING AND (E) TRIM
- REMOVE (E) DECK MEMBRANE AND REPAIR (E) CONC SUBSTRATE, ASSUME 50% OF SUBSTRATE REQUIRES PATCHING AND REPAIR

GENERAL NOTES:

1. DO NOT DISCONNECT APARTMENT POWER AND DATA DURING CONSTRUCTION
2. BUILDING OCCUPIED DURING CONSTRUCTION
3. IF WATER DAMAGE IS OBSERVED IN THE COURSE OF THE PROJECT, NOTIFY OWNER IMMEDIATELY.
4. ALL DIMENSIONS ARE APPROXIMATE. VERIFY IN FIELD.
5. PATCH, REPAIR, AND PAINT INTERIOR GWB DAMAGED DURING CONSTRUCTION.

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DEMO PLANS

AD2.0

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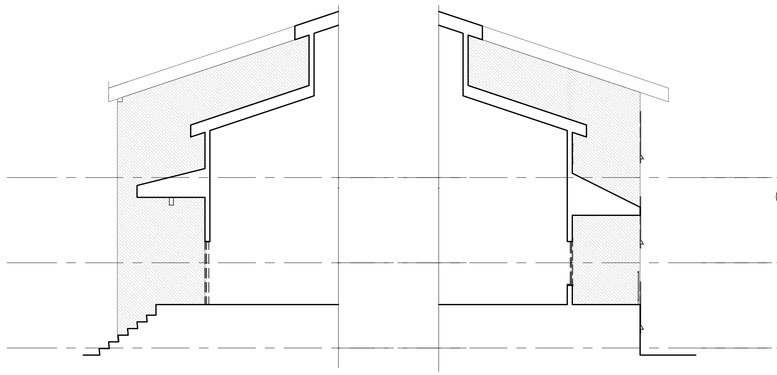
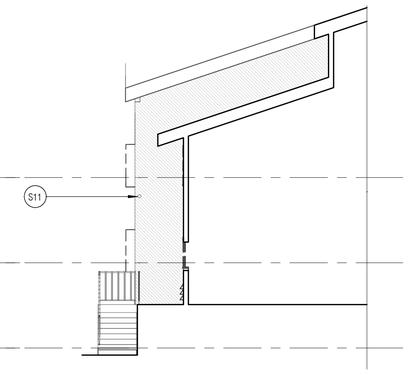
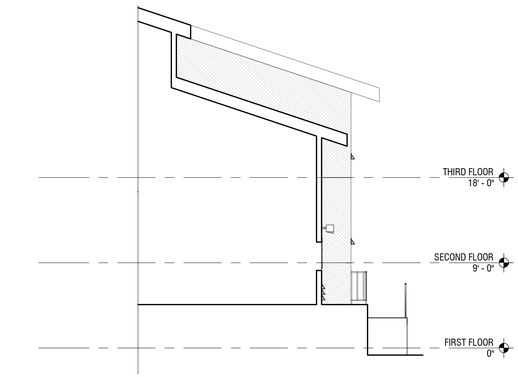


1 WEST ENTRANCE-SOUTH DEMO
1/8" = 1'-0"



2 WEST ENTRANCE-NORTH DEMO
1/8" = 1'-0"



3 EAST ENTRANCE-NORTH DEMO
1/8" = 1'-0"

4 EAST ENTRANCE-SOUTH DEMO
1/8" = 1'-0"

KEYNOTE LEGEND

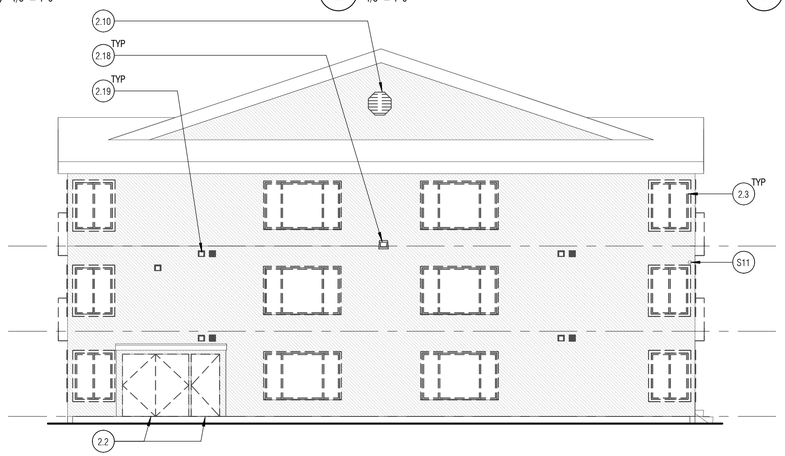
MARK	KEYNOTE TEXT
2.2	DEMO (E) DOOR, (E) DOOR FRAME, (E) DOOR HARDWARE, (E) EXTERIOR TRIM, AND (E) INTERIOR TRIM
2.3	DEMO (E) WINDOW, (E) WINDOW FRAME, AND (E) EXTERIOR TRIM
2.10	SALVAGE (E) ATTIC VENT, REINSTALL IN EXISITNG LOCATION.
2.18	DEMO (E) EXTERIOR LIGHT FIXTURE AT BUILDING ENTRANCES AND UNIT PATIOS AND DECKS
2.19	DEMO (E) VENT EXHAUST HOOD. CONTRACTOR TO VERIFY USE.
S9	SALVAGE (E) FIRE ALARM DEVICE, REINSTALL IN EXISTING LOCATION
S11	SALVAGE (E) SECURITY DEVICE, REINSTALL IN EXISTING LOCATION
S13	SALVAGE (E) SECURITY ELECTRICAL AND DATA EQUIPMENT, REINSTALL IN EXISTING LOCATION.
S14	SALVAGE (E) PIPE FOR EXTENSION
S15	SALVAGE (E) DOOR PANEL, DOOR HARDWARE FOR REFINISHING AND REINSTALLATION
S16	SALVAGE (E) HOSEBIB FOR EXTENSION

DEMO ELEVATION LEGEND:

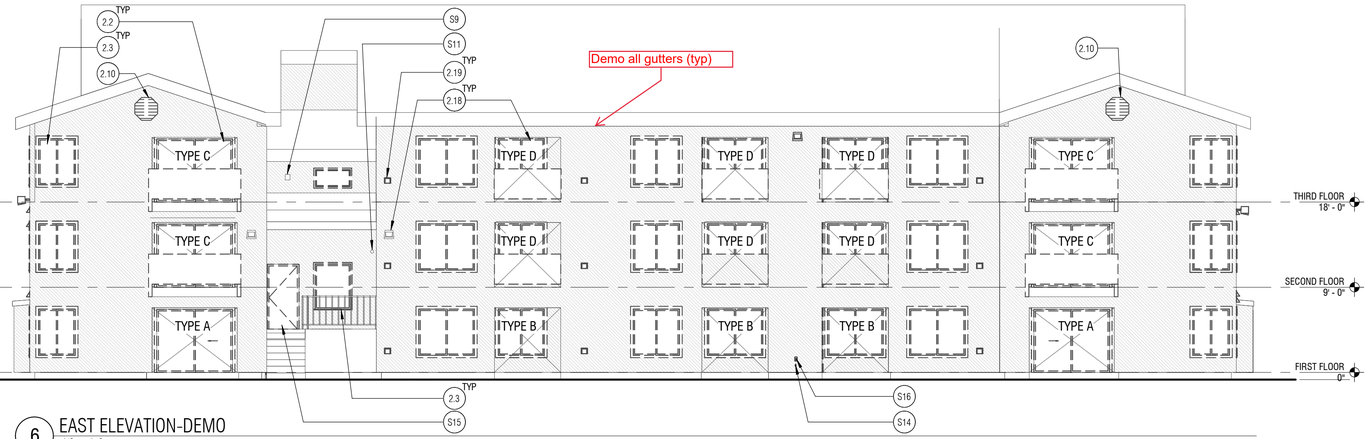
- — — — DEMOLISH
- REMOVE (E) FIBER CEMENT SIDING AND TRIM, WEATHER RESISTANT BARRIER, INSULATION AND SHEATHING PER KEYNOTE.

GENERAL NOTES:

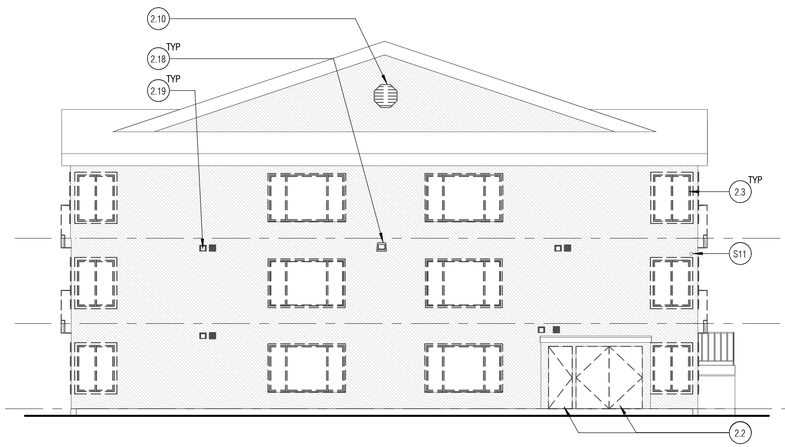
1. BUILDING OCCUPIED DURING CONSTRUCTION
2. IF WATER DAMAGE IS OBSERVED IN THE COURSE OF THE PROJECT, NOTIFY OWNER IMMEDIATELY.
3. ALL DIMENSIONS ARE APPROXIMATE. VERIFY IN FIELD.
4. TEMPORARILY SUPPORT ALL LOW VOLTAGE, TELECOMMUNICATIONS, AND CABLE TV CABLES TO ALLOW FOR REMOVAL OF EXISTING AND INSTALLATION OF SIDING.



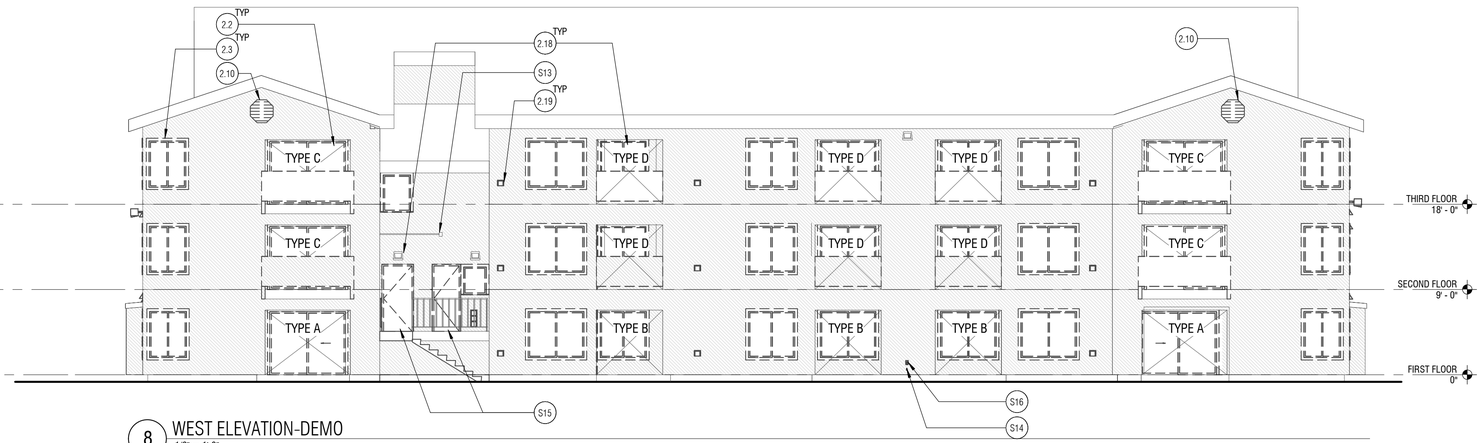
5 NORTH ELEVATION-DEMO
1/8" = 1'-0"



6 EAST ELEVATION-DEMO
1/8" = 1'-0"



7 SOUTH ELEVATION-DEMO
1/8" = 1'-0"



8 WEST ELEVATION-DEMO
1/8" = 1'-0"

0 1' 2' 4' 8' 12'

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DEMO
ELEVATIONS
AD2.1

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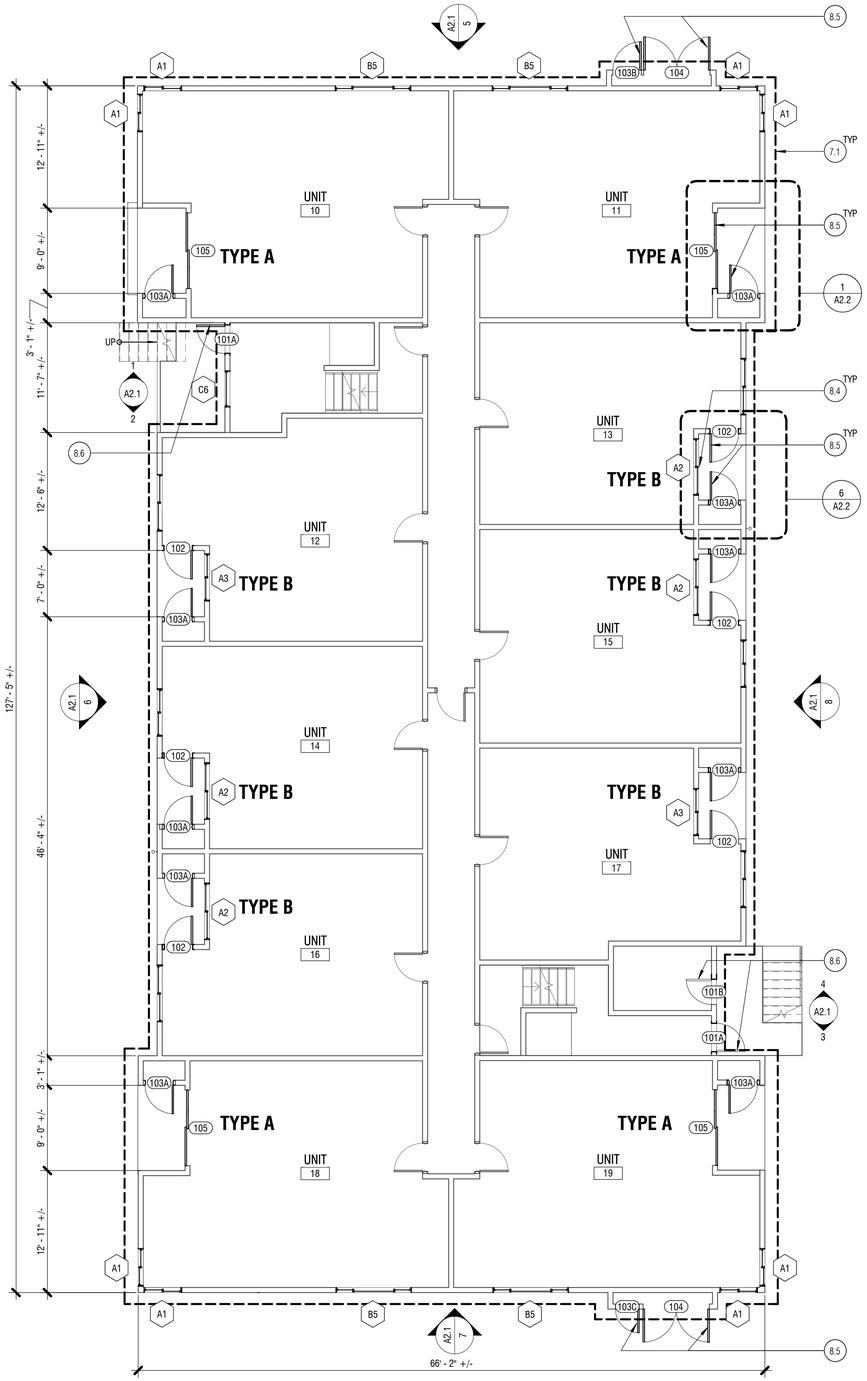
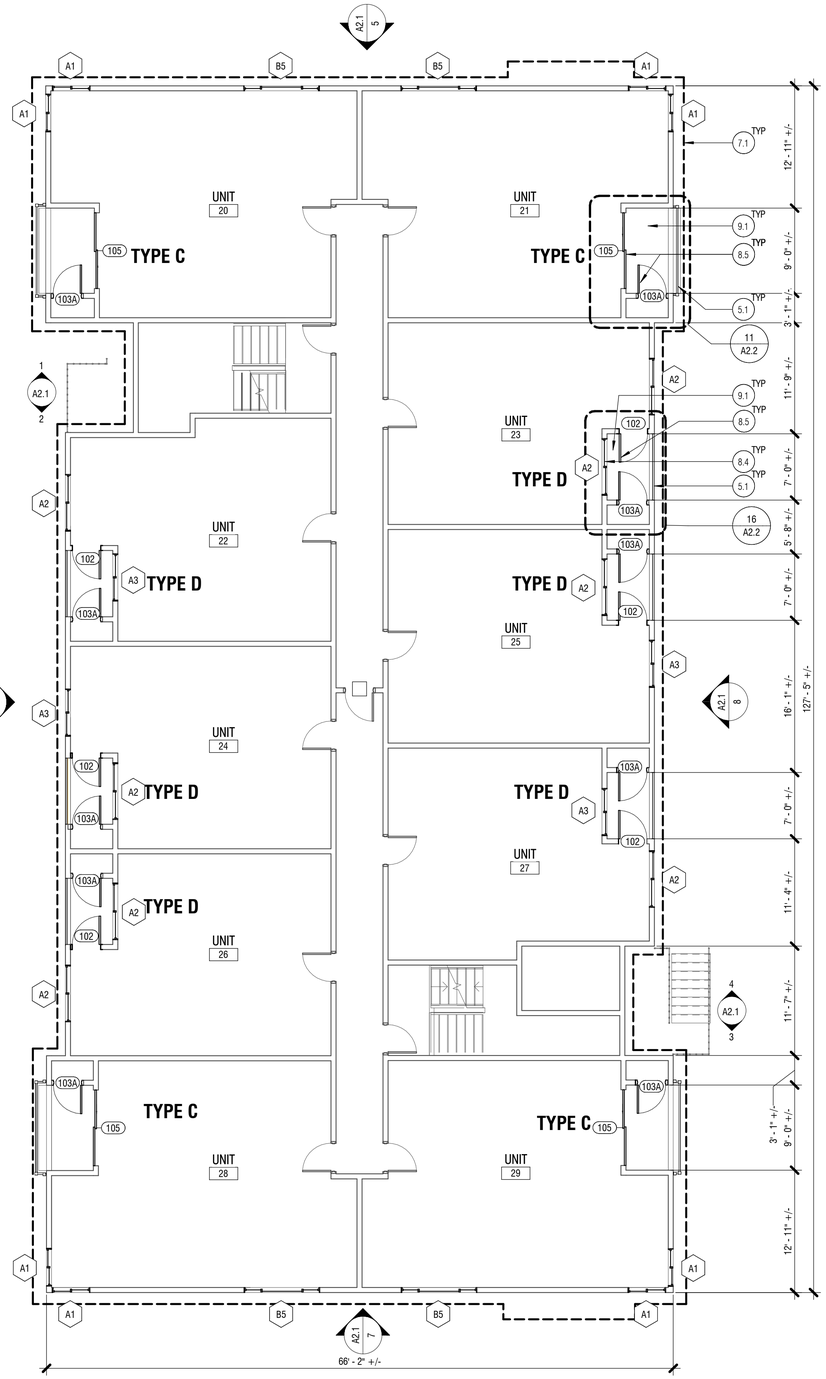


1 FIRST FLOOR PLAN
1/8" = 1'-0"



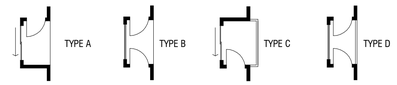
2 SECOND FLOOR PLAN (THIRD FLOOR SIM)
1/8" = 1'-0"

0 1' 2' 4' 8' 12'

7/12/2023 12:14:07 PM

KEYNOTE LEGEND

MARK	KEYNOTE TEXT
5.1	FIBERGLASS GUARDRAIL
7.1	FIBER CEMENT SIDING AND TRIM, INSULATION, WEATHER RESISTANT BARRIER, AND SHEATHING REF EXTERIOR ELEVATIONS A2.1 AND WALL ASSEMBLIES A8.0
8.4	WINDOW PER SCHED, EXTERIOR WD TRIM, AND INTERIOR TRIM PER DETAIL
8.5	DOOR PER SCHED, DOOR FRAME, DOOR HARDWARE, EXTERIOR FIBER CEMENT TRIM, AND INTERIOR TRIM PER DETAIL
8.6	DOOR PER SCHED, REINSTALL REFINISHED (E) DOOR PANEL AND (E) DOOR HARDWARE WITH EXTERIOR FIBER CEMENT TRIM, AND INTERIOR TRIM PER DETAIL
9.1	FLUID-APPLIED MEMBRANE ON (E) CONC SUBSTRATE, APPLY MEMBRANE 6" UP ADJACENT VERTICAL SURFACES AND INTO SHEET METAL DOOR PAN AT DOOR LOCATIONS



REF. 1 / A2.2 | REF. 6 / A2.2 | REF. 11 / A2.2 | REF. 16 / A2.2

PLAN LEGEND

(E) WALL

FIBER CEMENT SIDING AND TRIM, INSULATION, WEATHER RESISTANT BARRIER, AND SHEATHING PER WALL ASSEMBLY.

GENERAL NOTES:

1. DO NOT DISCONNECT APARTMENT POWER AND DATA DURING CONSTRUCTION
2. BUILDING OCCUPIED DURING CONSTRUCTION
3. IF WATER DAMAGE IS OBSERVED IN THE COURSE OF THE PROJECT, NOTIFY OWNER IMMEDIATELY.
4. ALL DIMENSIONS ARE APPROXIMATE. VERIFY IN FIELD.
5. PATCH, REPAIR, AND PAINT INTERIOR GWB DAMAGED DURING CONSTRUCTION.

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Seattle, WA 98103
PH: 206.675.9151
www.shksarchitects.com

KCHA
PEPPER TREE
ENVELOPE

BID SET

19926 BALLINGER WAY NE
SHORELINE, WA 98155

Drawn by:	NA/FC
Checked:	LJ
Date:	07/12/2023
Scale:	As indicated

Revisions:

No.	Date	Remarks

FLOOR PLANS
A2.0

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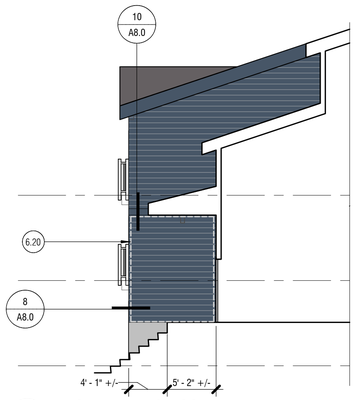
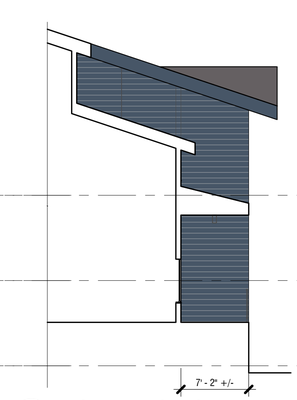
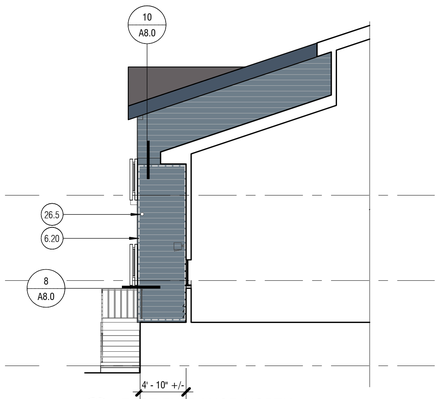


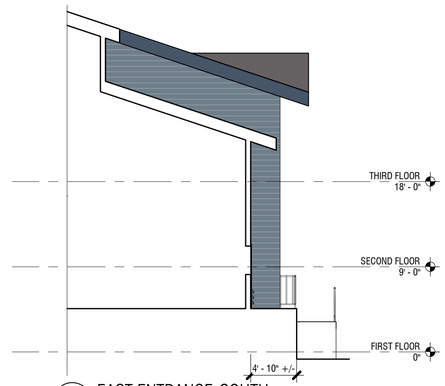
1 WEST ENTRANCE-SOUTH
1/8" = 1'-0"



2 WEST ENTRANCE-NORTH
1/8" = 1'-0"



3 EAST ENTRANCE-NORTH
1/8" = 1'-0"



4 EAST ENTRANCE-SOUTH
1/8" = 1'-0"

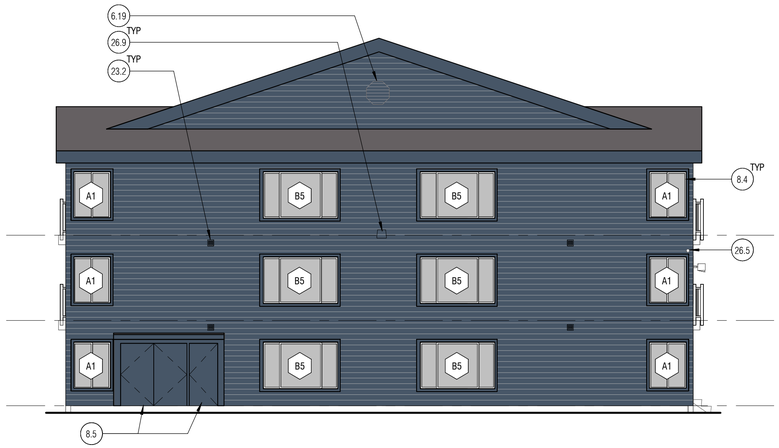
KEYNOTE LEGEND

MARK	KEYNOTE TEXT
5.1	FIBERGLASS GUARDRAIL
6.19	EXTEND VENT PENETRATION AND REINSTALL REFINISHED (E) ATTIC VENT. REFINISH TO MATCH ADJACENT SIDING.
6.20	LOWER PORTION OF WALL ASSEMBLY PER 8/A8.0
7.2	FIBER CEMENT SIDING 7" EXPOSURE, U.N.O.
7.3	FIBER CEMENT PANEL SIDING AT BALCONIES
8.4	WINDOW PER SCHED, EXTERIOR WD TRIM, AND INTERIOR TRIM PER DETAIL
8.5	DOOR PER SCHED, DOOR FRAME, DOOR HARDWARE, EXTERIOR FIBER CEMENT TRIM, AND INTERIOR TRIM PER DETAIL
8.6	DOOR PER SCHED, REINSTALL REFINISHED (E) DOOR PANEL AND (E) DOOR HARDWARE WITH EXTERIOR FIBER CEMENT TRIM, AND INTERIOR TRIM PER DETAIL
9.2	PAINT ALL SIDING AND TRIM. REF A2.1 FOR PAINT SCHED.
22.1	REINSTALL (E) FROST RESISITANT HOSE BIBB, EXTEND (E) PIPE PENETRATION FOR INSTALLATION
22.2	EXTEND PIPE AND INSTALL FIBER CEMENT MOUNTING BLOCK AND FITTING AT (E) PIPE PENETRATION
23.2	HOODED VENT CAP, EXTEND DUCTWORK
26.5	REINSTALL (E) SECURITY DEVICE AT ORIGINAL LOCATION
26.9	EXTERIOR LIGHT FIXTURE AT EXISTING LOCATIONS AT BUILDING ENTRANCES
28.1	REINSTALL (E) FIRE ALARM DEVICE AT ORIGINAL LOCATION
28.2	REINSTALL (E) SECURITY ELECTRICAL AND DATA EQUIPMENT AT (E) LOCATION. RUN CONDUIT BEHIND SIDING.

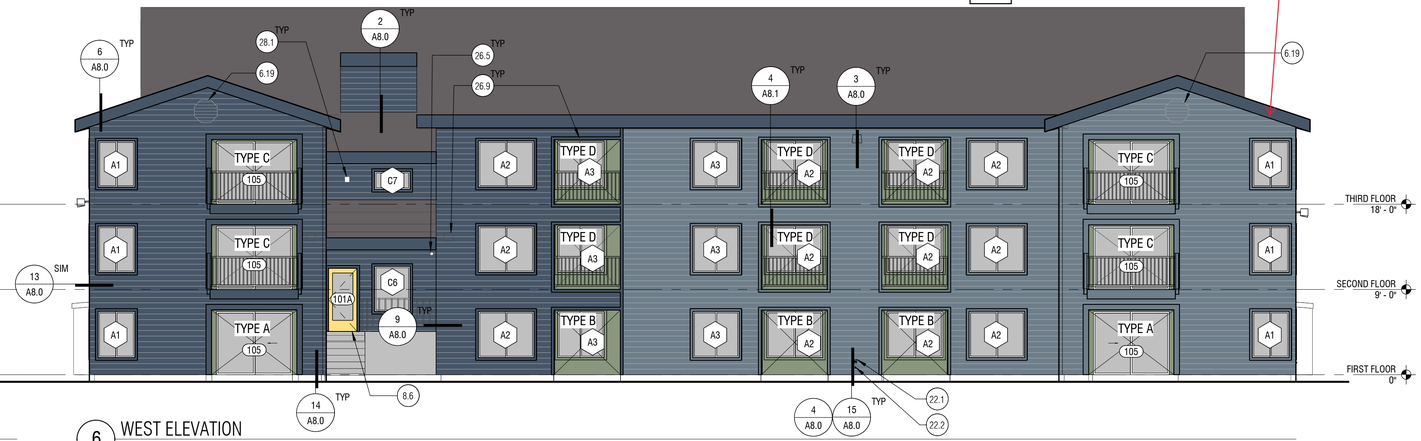
FINISH ELEVATION LEGEND:

- PNT-1: BENJAMIN MOORE NEWBURYPORT BLUE HC-155
- PNT-2: BENJAMIN MOORE NORMANDY 2129-40
- PNT-3: BENJAMIN MOORE ADIRONDACK GREEN 453
- PNT-4: BENJAMIN MOORE DALILA 319
- PNT-5 BENJAMIN MOORE CALM OC-22

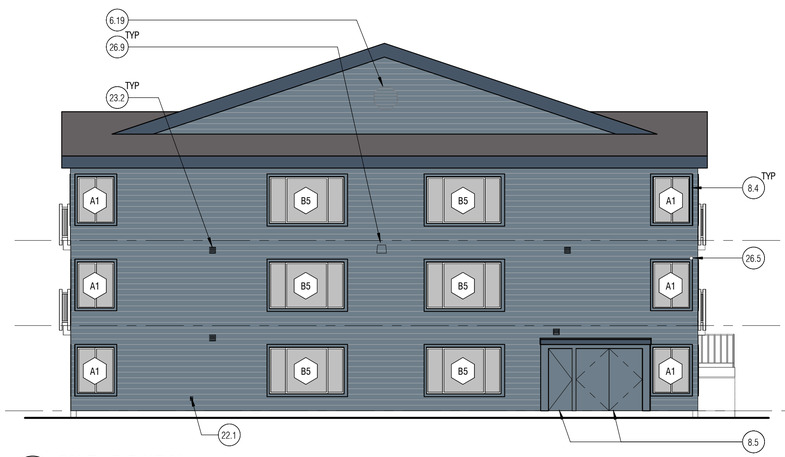
ALL FASCIA BOARDS & SOFFITS TO BE PAINTED PNT-5



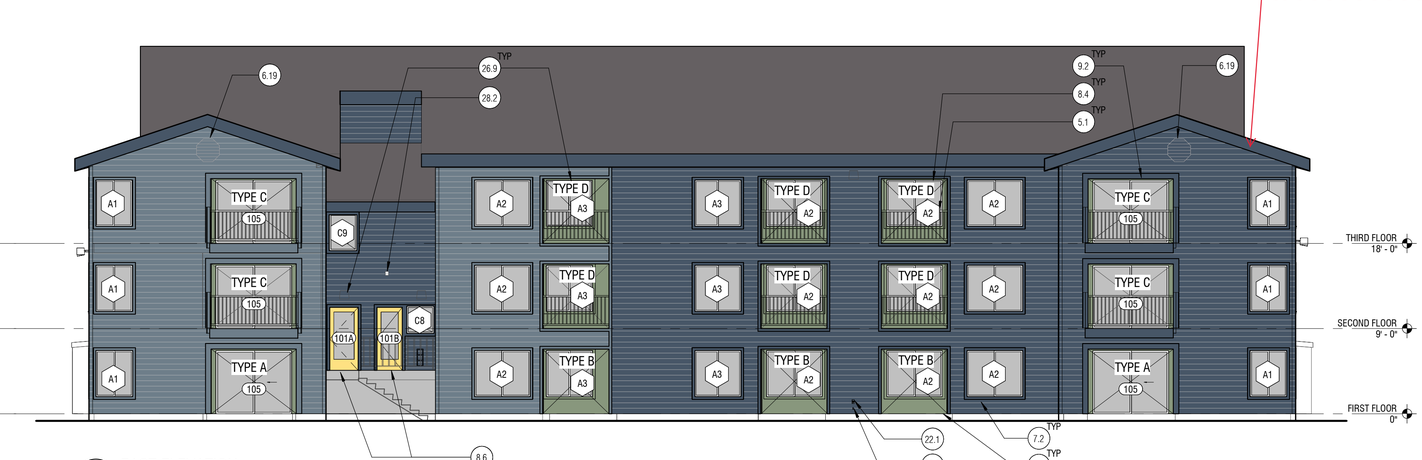
5 NORTH ELEVATION
1/8" = 1'-0"



6 WEST ELEVATION
1/8" = 1'-0"



7 SOUTH ELEVATION
1/8" = 1'-0"



8 EAST ELEVATION
1/8" = 1'-0"

ALL FASCIA BOARDS& SOFFITS TO BE PAINTED PNT-5

KCHA
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ENVELOPE

BID SET

LLINGER WAY NE
E,WA 98155

Drawn by: NA/FC
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Scale: As indicated

Revisions:
No. Date Remarks

EXTERIOR
ELEVATIONS
A2.1

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KEYNOTE LEGEND

MARK	KEYNOTE TEXT
5.1	FIBERGLASS GUARDRAIL
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7.3	FIBER CEMENT PANEL SIDING AT BALCONIES
8.4	WINDOW PER SCHED, EXTERIOR WD TRIM, AND INTERIOR TRIM PER DETAIL
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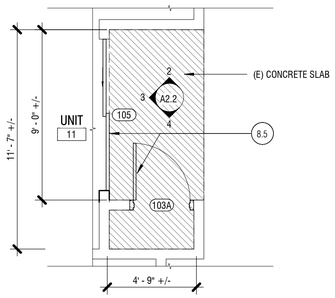
9.1	FLUID-APPLIED MEMBRANE ON (E) CONC SUBSTRATE, APPLY MEMBRANE 6" UP ADJACENT VERTICAL SURFACES AND INTO SHEET METAL DOOR PAN AT DOOR LOCATIONS
9.2	PAINT ALL SIDING AND TRIM. REF A2.1 FOR PAINT SCHED.
26.10	REMOVE AND REPLACE EXTERIOR LIGHT FIXTURE AT EXISTING PATIO AND DECK LOCATION

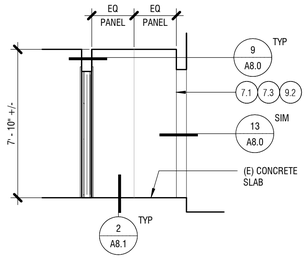
DECK FINISH LEGEND

FLUID-APPLIED MEMBRANE ON (E) CONC SUBSTRATE, APPLY MEMBRANE 6" UP ADJACENT VERTICAL SURFACES AND INTO SHEET METAL DOOR PAN AT DOOR LOCATIONS

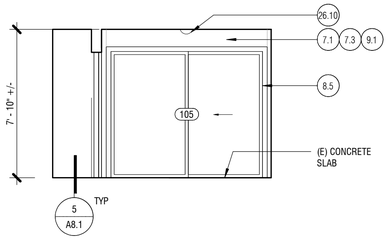
PANEL SIDING LAYOUT



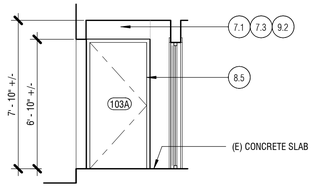
1 FIRST FLOOR PLAN - TYPE A
1/4" = 1'-0"



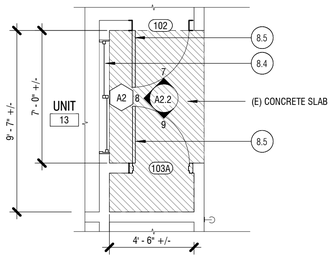
2 TYPE A-NORTH ELEVATION
1/4" = 1'-0"



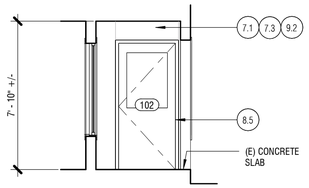
3 TYPE A- WEST ELEVATION
1/4" = 1'-0"



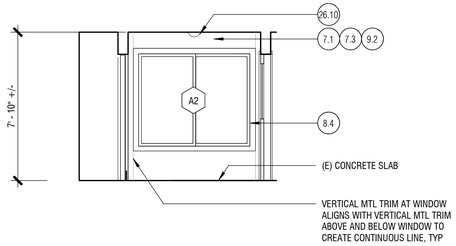
4 TYPE A-SOUTH ELEVATION
1/4" = 1'-0"



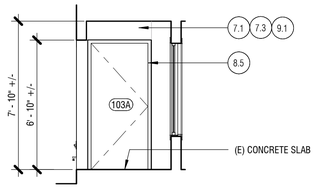
6 FIRST FLOOR PLAN - TYPE B
1/4" = 1'-0"



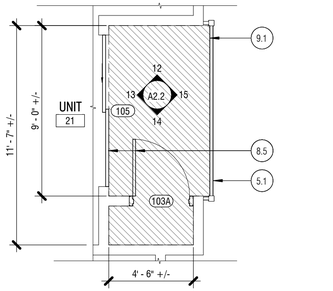
7 TYPE B-NORTH ELEVATION
1/4" = 1'-0"



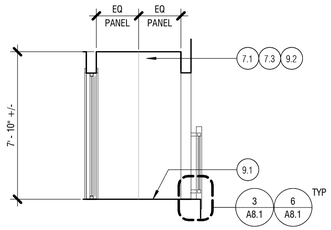
8 TYPE B-WEST ELEVATION
1/4" = 1'-0"



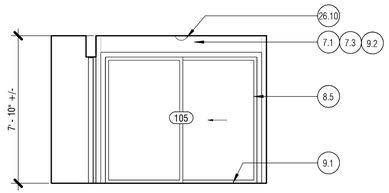
9 TYPE B-EAST ELEVATION
1/4" = 1'-0"



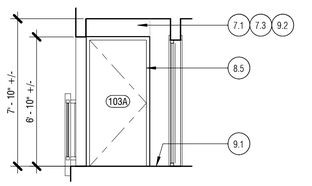
11 SECOND FLOOR PLAN - TYPE C
1/4" = 1'-0"



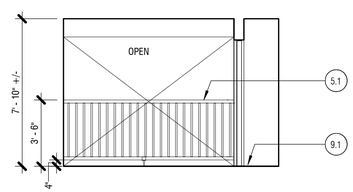
12 TYP C-NORTH ELEVATION
1/4" = 1'-0"



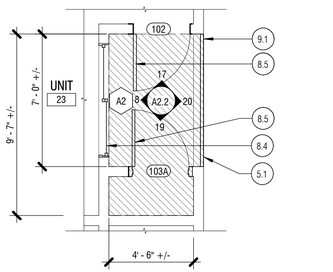
13 TYP C-WEST ELEVATION
1/4" = 1'-0"



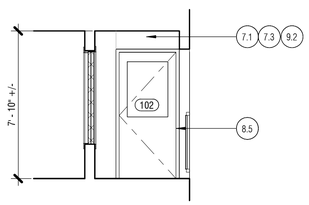
14 TYPE C-SOUTH ELEVATION
1/4" = 1'-0"



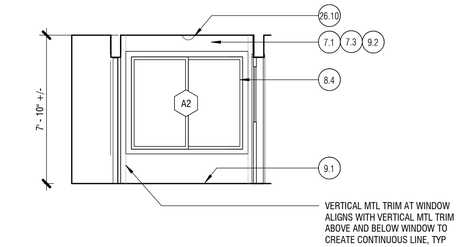
15 TYPE C-EAST ELEVATION
1/4" = 1'-0"



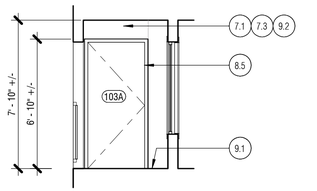
16 SECOND FLOOR -TYPE D
1/4" = 1'-0"



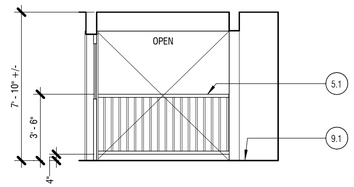
17 TYPE D-NORTH ELEVATION
1/4" = 1'-0"



18 TYPE D-WEST ELEVATION
1/4" = 1'-0"



19 TYPE D-SOUTH ELEVATION
1/4" = 1'-0"



20 TYPE D-EAST ELEVATION
1/4" = 1'-0"

KCHA
PEPPER TREE
ENVELOPE

BID SET

19926 BALLINGER WAY NE
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Drawn by: NA/FC
Checked: LJ
Date: 07/12/2023
Scale: 1/4" = 1'-0"

Revisions:

No.	Date	Remarks

DECKS - PLANS AND ELEVATIONS

A2.2

7/12/2023 12:14:12 PM

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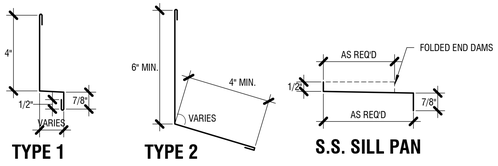
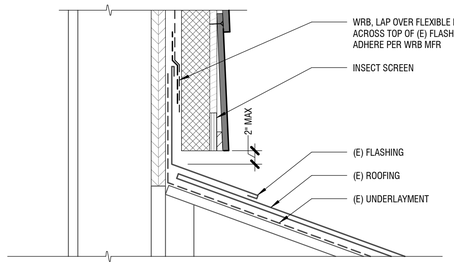
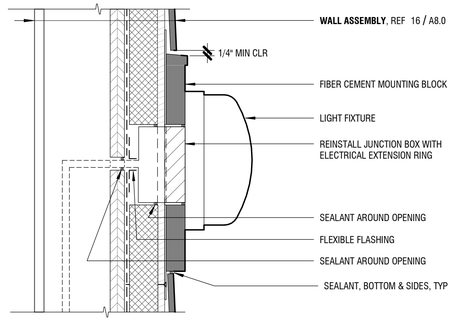


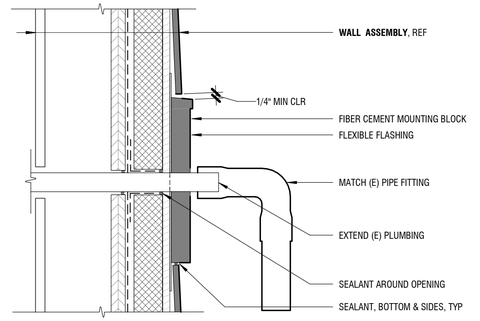
1 FLASHING TYPES
3" = 1'-0"



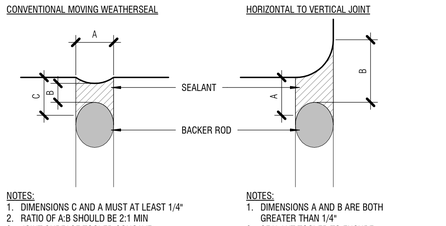
2 WALL TO ROOF TRANSITION
3" = 1'-0"



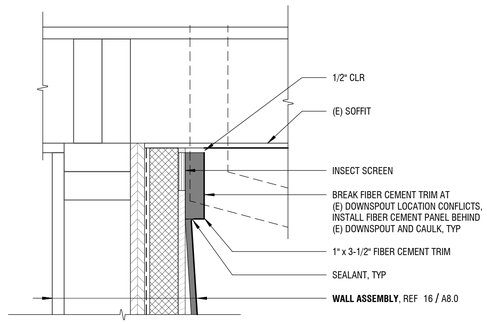
3 LIGHT FIXTURE, WALL MOUNTED
3" = 1'-0"



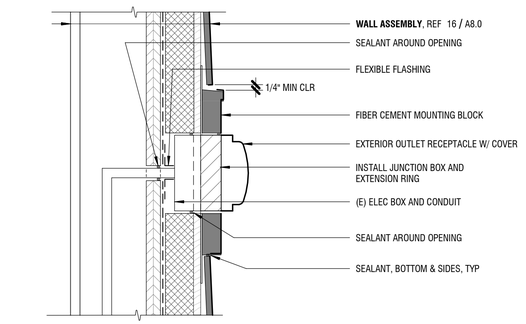
4 PIPE PENETRATION
3" = 1'-0"



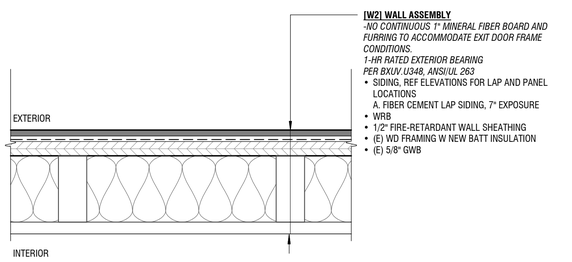
5 SEALANT JOINT & BACKER ROD
3" = 1'-0"



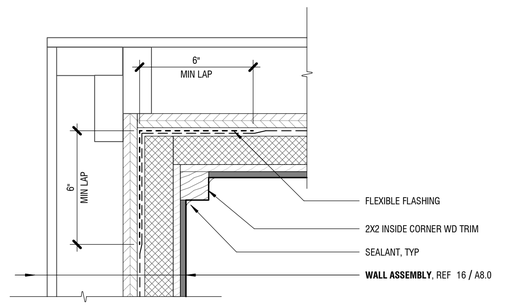
6 WALL TO SOFFITT
3" = 1'-0"



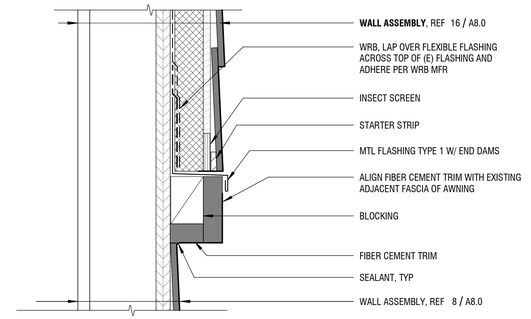
7 GFCI OUTLET
3" = 1'-0"



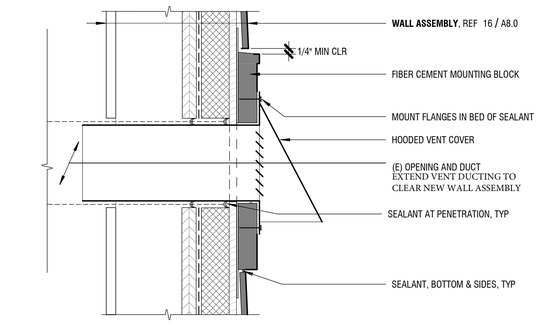
8 WALL ASSEMBLY TYPE- NO RIGID INSUL PLAN
3" = 1'-0"



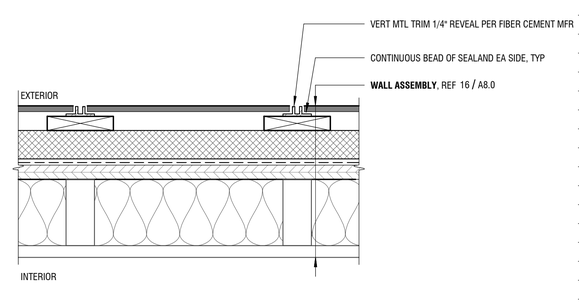
9 INSIDE CORNER - PLAN
3" = 1'-0"



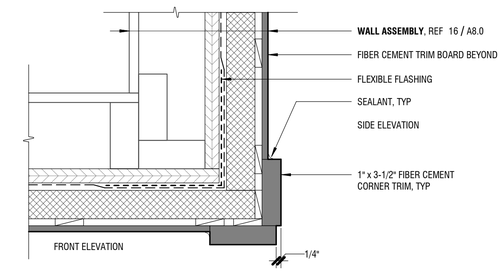
10 WALL ASSEMBLY TRANSITION
3" = 1'-0"



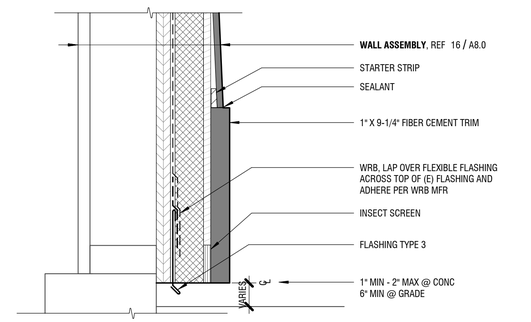
11 HOODED VENT
3" = 1'-0"



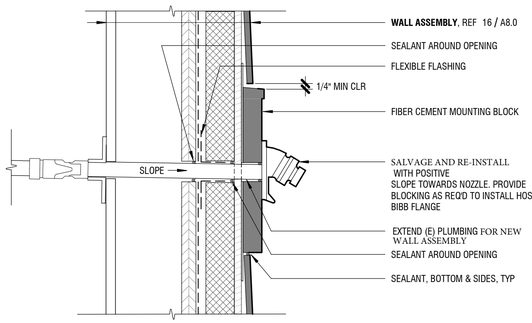
12 WALL ASSEMBLY PANEL VERTICAL TRIM
3" = 1'-0"



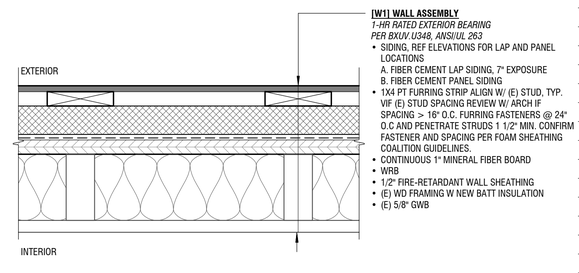
13 OUTSIDE CORNER - PLAN
3" = 1'-0"



14 WALL BASE - EXTERIOR
3" = 1'-0"



15 HOSE BIBB
3" = 1'-0"



16 WALL ASSEMBLY TYPE- KCHA PLAN
3" = 1'-0"

KCHA
PEPPER TREE
ENVELOPE

BID SET

19926 BALLINGER WAY NE
SHORELINE, WA 98155

Drawn by: FC
Checked: LJ
Date: 07/12/2023
Scale: 3" = 1'-0"

Revisions:
No. Date Remarks

WALL ASSEMBLY AND EXTERIOR DETAILS

A8.0

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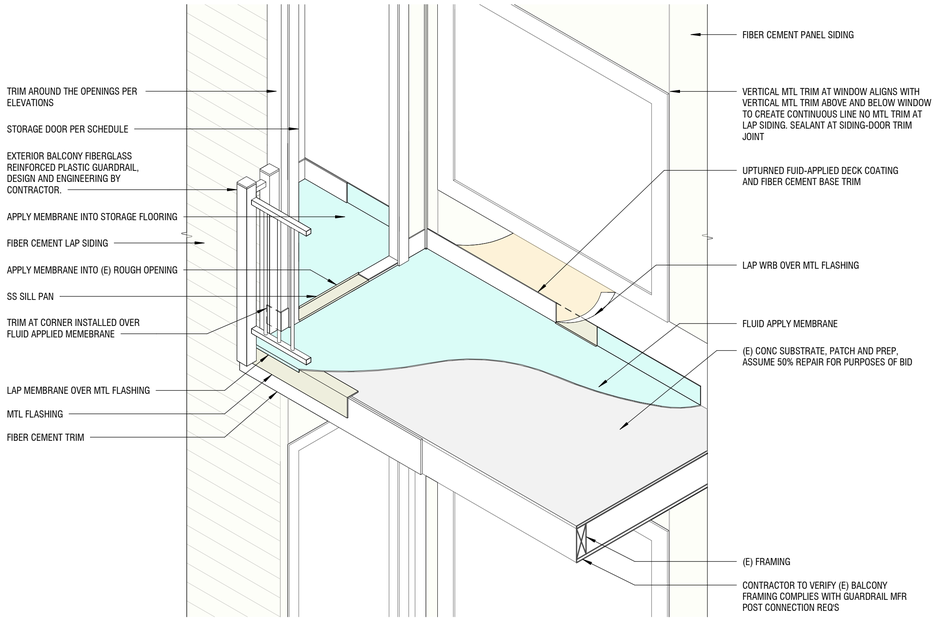
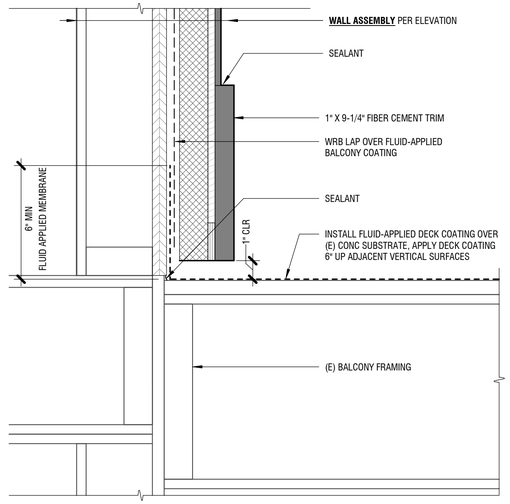
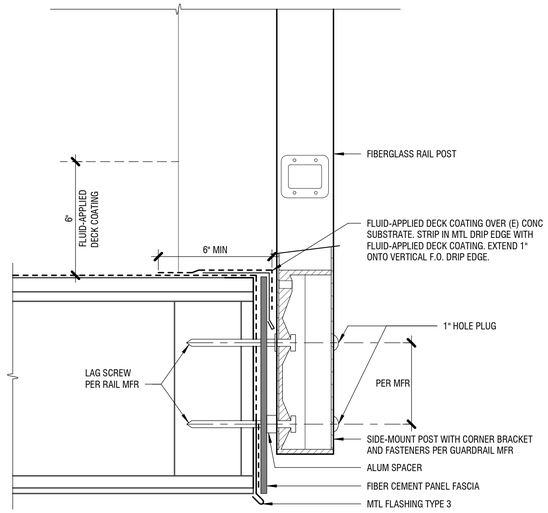


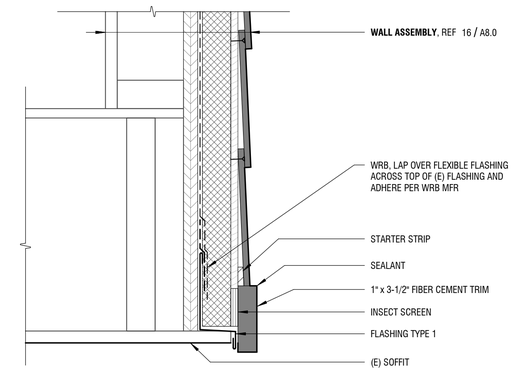
1 BALCONY ASSEMBLY-PANEL SIDING



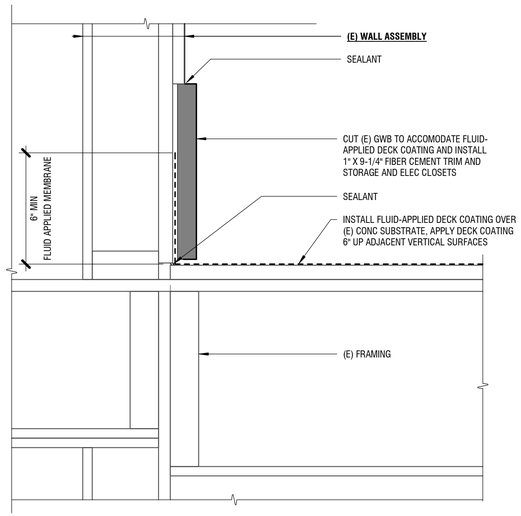
2 BASE AT BALCONY WALL - TYPE C,D
3" = 1'-0"



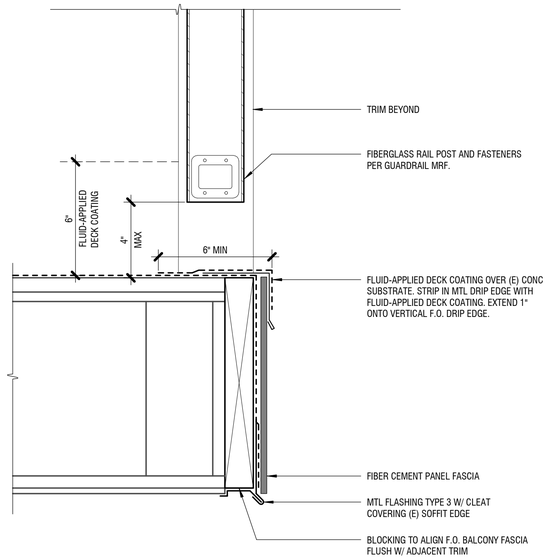
3 BALCONY EDGE - TYPE C
3" = 1'-0"



4 WALL TO BALCONY CEILING TRANSITION
3" = 1'-0"



5 BASE OF WALL @ CLOSET
3" = 1'-0"



6 BALCONY EDGE - TYPE D
3" = 1'-0"

KCHA
PEPPER TREE
ENVELOPE

BID SET

19926 BALLINGER WAY NE
SHORELINE,WA 98155

Drawn by:	NA/FC
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Revisions:

No.	Date	Remarks

EXTERIOR BALCONY DETAILS

A8.1

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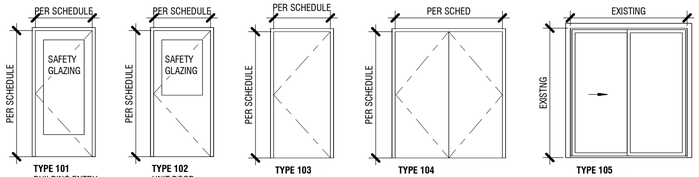
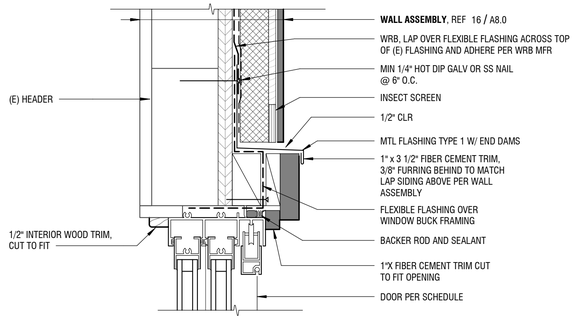
DOOR SCHEDULE

MARK	SIZE W	SIZE H	DOOR MATL	DOOR FINISH	FRAME/TRIM MATL	FRAME/TRIM FINISH	COMMENTS
101A	3' - 0"	6' - 8"		PNT-4		PNT-5	SALVAGED, REFINISHED
101B	2' - 8"	6' - 8"		PNT-4		PNT-5	SALVAGED, REFINISHED
102	3' - 0"	6' - 8"	FIBERGLASS	PNT-4	COMPOSITE	PNT-3	
103A	3' - 0"	6' - 8"	FIBERGLASS	PNT-4	COMPOSITE	PNT-3	
103B	3' - 0"	6' - 7"	FIBERGLASS	PNT-4	COMPOSITE	PNT	SEE FINISH ELEVATION SHEET A2.1 TO MATCH TRIM TO ADJACENT SIDING
103C	2' - 6"	6' - 7"	FIBERGLASS	PNT-4	COMPOSITE	PNT	SEE FINISH ELEVATION SHEET A2.1 TO MATCH TRIM TO ADJACENT SIDING
104	7' - 0"	6' - 7"	FIBERGLASS	PNT-4	COMPOSITE	PNT	SEE FINISH ELEVATION SHEET A2.1 TO MATCH TRIM TO ADJACENT SIDING
105	8' - 0"	6' - 8"	FIBERGLASS	PNT-4	COMPOSITE	PNT	SEE FINISH ELEVATION SHEET A2.1 TO MATCH TRIM TO ADJACENT SIDING

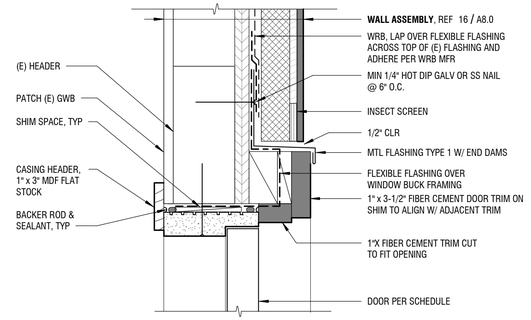
GENERAL NOTES

1. VERIFY EXISTING OPERABLE DIRECTIONS AND PROVIDE DOORS TO MATCH.
2. DIMENSIONS SHOW ARE FOR REFERENCE ONLY. CONTRACTOR TO FIELD VERIFY ACTUAL EXISTING OPENING DIMENSIONS AFTER OPENINING MODIFICATIONS.
3. GLAZING SHALL BE LABELED AND NFRC CERTIFIED PER MFR, AND HAVE A U-VALUE OF 0.3 OR BETTER, PER MFR, TYP. DOORS TO BE R-5 OR BETTER.
4. ALL GLAZING WITHIN 18" OF INTERIOR FLOOR, EXTERIOR WALKING SURFACE, OR WITHIN 24" OF A DOOR IN ANY POSITION TO BE TEMPERED SAFETY GLASS PER CODE.
5. SIGNAGE AT ENTRY DOOR(S) TO BE FURNISHED BY OWNER, INSTALLED BY CONTRACTOR (FOIC).
6. COORDINATE HARDWARE GROUPS WITH OWNER. REPLACE NECESSARY EGRESS HARDWARE.
7. PROVIDE CONTINUOUS AIR SEAL AT ALL WINDOWS, DOORS, AND WALL PENETRATIONS.

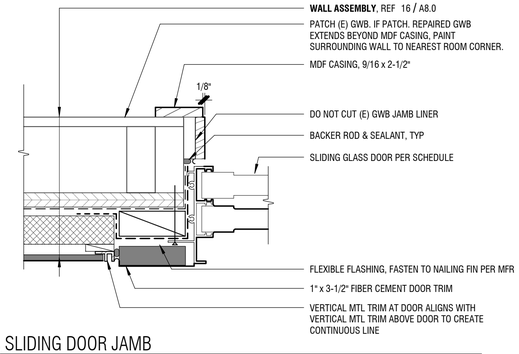




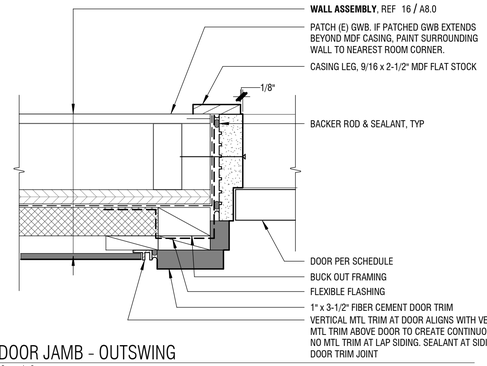
2 SLIDING DOOR HEADER
3" = 1'-0"



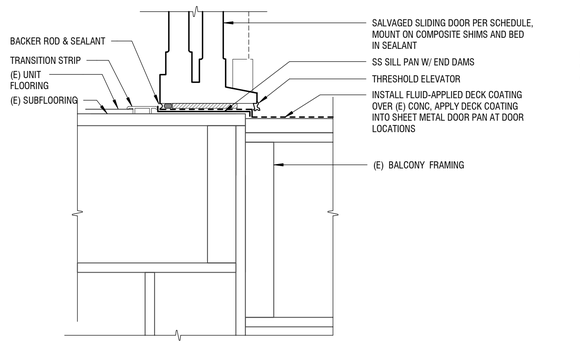
4 DOOR HEAD - OUTSWING
3" = 1'-0"



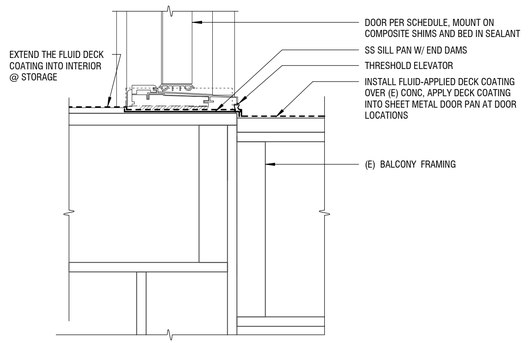
6 SLIDING DOOR JAMB
3" = 1'-0"



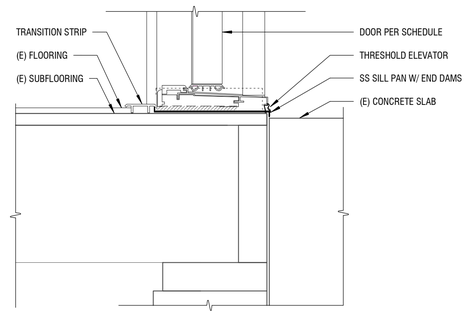
8 DOOR JAMB - OUTSWING
3" = 1'-0"



10 SLIDING DOOR SILL @ BALCONY
3" = 1'-0"



11 DOOR SILL @ BALCONY
3" = 1'-0"



12 DOOR SILL @ GROUND FLOOR
3" = 1'-0"

KCHA
PEPPER TREE
ENVELOPE

BID SET

19926 BALLINGER WAY NE
SHORELINE,WA 98155

Drawn by: FC
Checked: LJ
Date: 07/12/2023
Scale: As indicated

Revisions:

No.	Date	Remarks

DOOR DETAILS
A8.2

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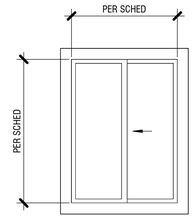
WINDOW SCHEDULE

MARK	TYPE	WIDTH	HEIGHT	U-VALUE	OPERATION	COMMENTS
A1	48" x 60"	4' - 0"	5' - 0"		SLIDER	
A2	72" x 60"	6' - 0"	5' - 0"		SLIDER	
A3	60" x 60"	5' - 0"	5' - 0"		SLIDER	
B5	96" x 60"	8' - 0"	5' - 0"		DOUBLE SLIDER	
C6	46-6" x 58-6"	3' - 10 1/2"	4' - 10 1/2"		FIXED	
C7	46-6" x 24"	3' - 10 1/2"	2' - 0"		FIXED	
C8	3' X 3'	3' - 0"	3' - 0"		FIXED	REDUCE EXISTING OPENING WIDTH TO ACCOMMODATE INCREASED WALL ASSEMBLY THICKNESS, VIF
C9	3' X 4'	3' - 0"	4' - 0"		FIXED	

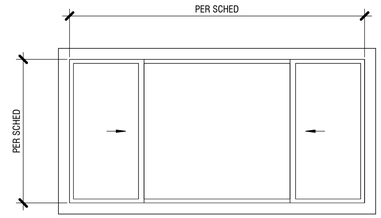
GENERAL NOTES:

1. VERIFY EXISTING OPERABLE DIRECTIONS AND PROVIDE NEW DOORS TO MATCH.
2. DIMENSIONS SHOW ARE FOR REFERENCE ONLY.CONTRACTOR TO FIELD VERIFY ACTUAL EXISTING OPENING DIMENSIONS AFTER OPENINING MODIFICATIONS.
3. GLAZING SHALL BE LABELED AND NFRC CERTIFIED PER MFR, AND HAVE A U-VALUE OF 0.3 OR BETTER, PER MFR, TYP. DOORS TO BE R-5 OR BETTER.
4. ALL GLAZING WITHIN 18" OF INTERIOR FLOOR, EXTERIOR WALKING SURFACE, OR WITHIN 24" OF A DOOR IN ANY POSITION TO BE SAFETY/TEMPERED GLASS, AS PER CODE.
5. SIGNAGE AT ENTRY DOOR(S) TO BE FURNISHED BY OWNER, INSTALLED BY CONTRACTOR (FOIC).
6. COORDINATE HARDWARE GROUPS WITH OWNER. REPLACE NECESSARY EGRESS HARDWARE.
7. PROVIDE CONTINUOUS AIR SEAL AT ALL WINDOWS, DOORS, AND WALL PENETRATIONS.

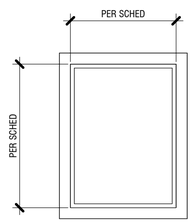
1. CONTRACTOR TO VERIFY EXISTING SILL HEIGHTS IN FIELD.
2. AT OPERABLE WINDOWS, OPERABLE SASH T OMATCH EXISTING WINDOW.
3. SCREENS TO BE PROVIDED WITH ALL OPERABLE WINDOWS.
4. HORIZONTAL BLINDS TO BE PROVIDED AT ALL WINDOWS.



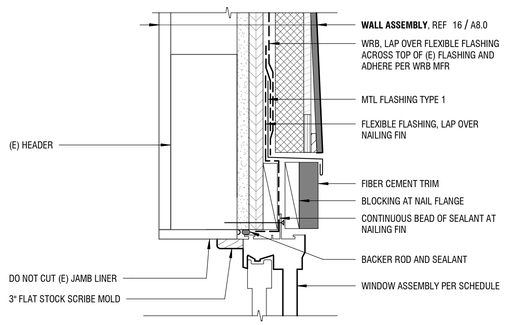
A
SLIDER



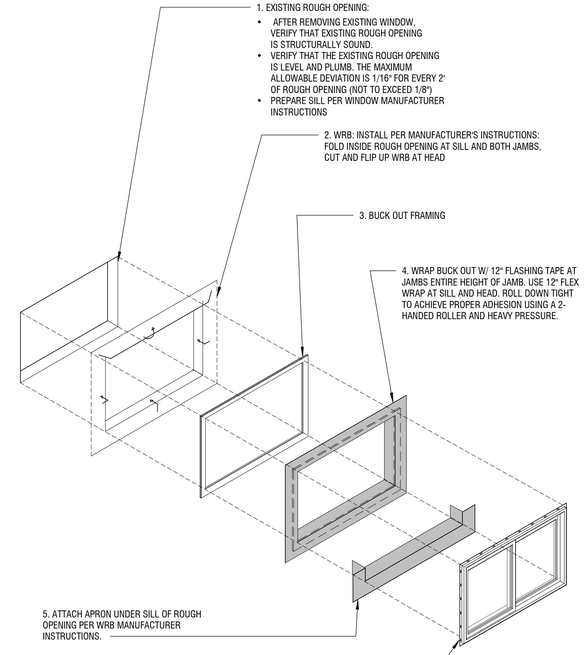
B
DOUBLE SLIDER

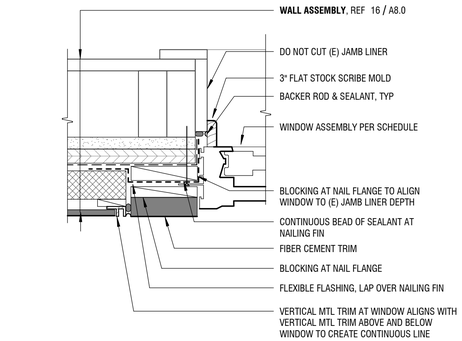


C
FIXED

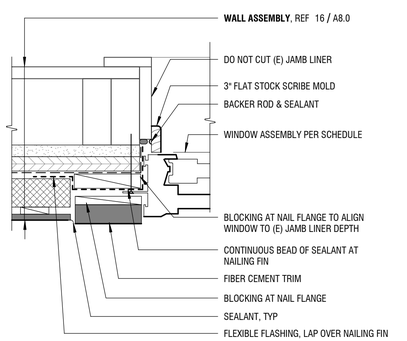


7 WINDOW HEADER - SECTION
3" = 1'-0"

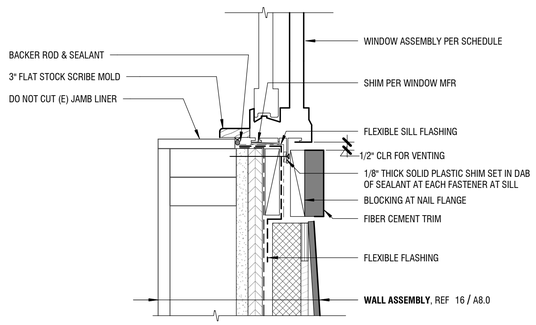




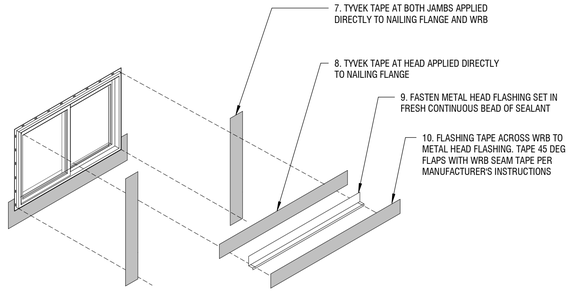
10 WINDOW JAMB PANEL SIDING - PLAN
3" = 1'-0"



11 WINDOW JAMB LAP SIDING - PLAN
3" = 1'-0"



15 WINDOW SILL - SECTION
3" = 1'-0"



16 WINDOW ASSEMBLY
3/8" = 1'-0"

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WINDOW DETAILS
A8.3

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GENERAL NOTES

THESE GENERAL NOTES ARE TO BE USED AS A SUPPLEMENT TO THE SPECIFICATIONS. ANY DISCREPANCIES FOUND AMONG THE DRAWINGS, THE SPECIFICATIONS, THESE GENERAL NOTES AND THE SITE CONDITIONS SHALL BE REPORTED TO THE ARCHITECT, WHO SHALL CORRECT SUCH DISCREPANCY IN WRITING. ANY WORK DONE BY THE GENERAL CONTRACTOR AFTER DISCOVERY OF SUCH DISCREPANCY SHALL BE DONE AT THE GENERAL CONTRACTOR'S RISK. THE GENERAL CONTRACTOR SHALL VERIFY AND COORDINATE DIMENSIONS AMONG ALL DRAWINGS PRIOR TO PROCEEDING WITH ANY WORK OR FABRICATION. THE STRUCTURE HAS BEEN DESIGNED TO RESIST CODE SPECIFIED VERTICAL AND LATERAL FORCES AFTER THE CONSTRUCTION OF ALL STRUCTURAL ELEMENTS HAS BEEN COMPLETED. STABILITY OF THE STRUCTURE PRIOR TO COMPLETION IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THIS RESPONSIBILITY INCLUDES BUT IS NOT LIMITED TO JOB SITE SAFETY; ERECTION MEANS, METHODS, AND SEQUENCES; TEMPORARY SHORING, FORMWORK, BRACING; USE OF EQUIPMENT AND CONSTRUCTION PROCEDURES. PROVIDE ADEQUATE RESISTANCE TO LOADS ON THE STRUCTURES DURING CONSTRUCTION PER SEI/ASCE STANDARD NO. 37-14 "DESIGN LOADS ON STRUCTURES DURING CONSTRUCTION."

CONSTRUCTION OBSERVATION BY THE STRUCTURAL ENGINEER IS FOR GENERAL CONFORMANCE WITH DESIGN ASPECTS ONLY AND IS NOT INTENDED IN ANY WAY TO REVIEW THE CONTRACTOR'S CONSTRUCTION PROCEDURES.

STANDARDS
ALL METHODS, MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE 2018 INTERNATIONAL BUILDING CODE (IBC) AS AMENDED AND ADOPTED BY THE LOCAL BUILDING OFFICIAL OR APPLICABLE JURISDICTION.

CONTRACT DRAWINGS / DIMENSIONS

ARCHITECTURAL DRAWINGS ARE THE PRIME CONTRACT DRAWINGS. CONSULTANT DRAWINGS BY OTHER DISCIPLINES ARE SUPPLEMENTARY TO ARCHITECTURAL DRAWINGS. REPORT DIMENSIONAL OMISSIONS OR DISCREPANCIES BETWEEN ARCHITECTURAL DRAWINGS AND STRUCTURAL, MECHANICAL, ELECTRICAL OR CIVIL DRAWINGS TO ARCHITECT PRIOR TO PROCEEDING WITH WORK.

STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS. PRIMARY STRUCTURAL ELEMENTS ARE DIMENSIONED ON STRUCTURAL PLANS AND DETAILS AND OVERALL LAYOUT OF STRUCTURAL PORTION OF WORK. SOME SECONDARY ELEMENTS ARE NOT DIMENSIONED, SUCH AS WALL CONFIGURATIONS, INCLUDING EXACT DOOR AND WINDOW LOCATIONS, ALCOVES, SLAB SLOPES AND DEPRESSIONS, CURBS, ETC. VERTICAL DIMENSIONAL CONTROL IS DEFINED BY ARCHITECTURAL WALL SECTIONS AND BUILDING SECTIONS. STRUCTURAL DETAILS SHOW DIMENSIONAL RELATIONSHIPS TO CONTROL DIMENSIONS DEFINED BY ARCHITECTURAL DRAWINGS. DETAILING AND SHOP DRAWING PRODUCTION FOR STRUCTURAL ELEMENTS WILL REQUIRE DIMENSIONAL INFORMATION CONTAINED IN **BOTH** ARCHITECTURAL AND STRUCTURAL DRAWINGS.

PROJECT SCOPE:
PLYWOOD SHEATHING IS BEING ADDED TO EXTERIOR WALLS TO PROVIDE A MORE CONSISTENT LATERAL LOAD PATH. THE PROJECT IS CONSIDERED A VOLUNTARY SEISMIC UPGRADE. FUTURE INTERIOR SHEAR WALLS WILL BE ADDED TO MEET A FULL SEISMIC UPGRADE.

DESIGN CRITERIA

VERTICAL LOADS

AREA	DESIGN DEAD LOAD
ROOF	15 PSF
FLOOR	15 PSF

LATERAL FORCES

LATERAL FORCES ARE TRANSMITTED BY DIAPHRAGM ACTION OF ROOF AND FLOORS TO SHEAR WALLS. LOADS ARE THEN TRANSFERRED TO FOUNDATION BY SHEAR WALL ACTION WHERE ULTIMATE DISPLACEMENT IS RESISTED BY PASSIVE PRESSURE OF EARTH AND/OR SLIDING FRICTION. OVERTURNING IS RESISTED BY DEAD LOAD OF THE STRUCTURE.

WIND:

THE BUILDING MEETS THE CRITERIA TO USE THE "ENCLOSED, PARTIALLY ENCLOSED, AND OPEN BUILDING OF ALL HEIGHTS PROCEDURE" PER ASCE 7-16.

- EXPOSURE CATEGORY = B
- BASIC WIND SPEED, (3 SEC. GUST), V_{ULT} = 98 MPH; V_{ASD} = 76 MPH
- RISK CATEGORY PER IBC TABLE 1604.5 = II
- TOPOGRAPHIC FACTOR K_{ZT} = 1.0
- INTERNAL PRESSURE COEFFICIENT (ENCLOSED) = ± 0.18

SEISMIC: (ASCE 7-16) V = CsW

WHERE $Cs = \frac{S_{DS}}{(\frac{R}{Ie})}$; WITH

$Cs\ MINIMUM = 0.044\ S_{DS} I_E \geq 0.01$

OR

$Cs\ MINIMUM = \frac{0.5S_1}{\frac{R}{Ie}}$ FOR $S_1 > 0.6g$

$Cs\ MAXIMUM = \frac{S_{D1}}{T(\frac{R}{Ie})}$ FOR $T \leq T_L$

OR

$Cs\ MAXIMUM = \frac{S_{D1}T_L}{T^2(\frac{R}{Ie})}$ FOR $T > T_L$

SEISMIC IMPORTANCE FACTOR, Ie = 1.0
RISK CATEGORY OF BUILDING PER IBC TABLE 1604.5 = II
SPECTRAL RESPONSE ACCELERATIONS S_S = 1.273 & S_1 = 0.446
SITE CLASS PER TABLE 20.3-1 = D
DESIGN SPECTRAL RESPONSE ACCELERATIONS S_{DS} = 1.018
SEISMIC DESIGN CATEGORY = D
W = EFFECTIVE SEISMIC WEIGHT OF BUILDING = 605k
ANALYSIS PROCEDURE USED = EQUIVALENT LATERAL FORCE PROCEDURE
SEISMIC FORCE-RESISTING SYSTEM PER TABLE 12.2-1:
LIGHT-FRAME (WOOD) WALLS SHEATHED WITH WOOD STRUCTURAL PANELS RATED FOR SHEAR RESISTANCE
RESPONSE MODIFICATION FACTOR, R = 6.5
OVERSTRENGTH FACTOR, Ω = 2
Cs = 0.157
DESIGN BASE SHEAR V = 66.5k
REDUNDANCY FACTOR PER 12.3.4, ρ = 1.0

POST-INSTALLED ANCHORS

POST-INSTALLED ANCHORS: SHALL ONLY BE USED WHERE SPECIFIED ON THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE STRUCTURAL ENGINEER PRIOR TO INSTALLING POST-INSTALLED ANCHORS IN PLACE OF MISSING OR MISPLACED CAST-IN-PLACE ANCHORS. CARE SHALL BE TAKEN IN PLACING POST-INSTALLED ANCHORS TO AVOID CONFLICTS WITH REBAR. INSTALL IN ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED INSTALLATION INSTRUCTIONS. INSTALLER SHALL BE QUALIFIED AND TRAINED BY THE MANUFACTURER. HOLES SHALL BE HAMMER DRILLED ONLY (ROTARY DRILLED ONLY AT UNREINFORCED MASONRY - NO HAMMER TOOLS).

SUBSTITUTION REQUESTS, FOR PRODUCTS OTHER THAN THOSE SPECIFIED BELOW, SHALL BE SUBMITTED FOR APPROVAL A MINIMUM OF 2 WEEKS PRIOR TO BID, ALONG WITH CALCULATIONS SHALL BE STAMPED BY A PROFESSIONAL ENGINEER (LICENSED IN THE STATE OF THE PROJECT) DEMONSTRATING THAT THE SUBSTITUTED PRODUCT IS CAPABLE OF ACHIEVING EQUIVALENT PERFORMANCE VALUES (MINIMUM) OF THE SPECIFIED PRODUCT USING THE APPROPRIATE DESIGN PROCEDURE AND/OR STANDARD(S) AS REQUIRED BY THE BUILDING CODE.

CONCRETE ANCHORS:
- ADHESIVE ANCHORS: HILTI HIT-HY 200 (ICC-ESR-3187), HILTI HIT-RE 500 V3 (ICC-ESR-3814), DEWALT PURE 110+ (ICC-ESR-3298), OR SIMPSON SET-3G (ICC-ESR-4057), OR PRE-APPROVED EQUAL.
  - *CONCRETE SHALL BE A MINIMUM OF 21 DAYS OLD AT TIME OF INSTALLATION.
  - *CONCRETE SHALL BE IN THE TEMPERATURE RANGE AS REQUIRED BY THE CONCRETE MANUFACTURER.
  - *HOLE SHALL BY HAMMER-DRILLED ONLY.
  - *DO NOT INSTALL IN WATER-FILLED HOLES.
- SCREW ANCHORS: KWIK HUS-EZ (ICC ESR-3027) BY HILTI, INC. OR PRE-APPROVED EQUAL.

CARPENTRY:

NAILS: CONNECTION DESIGNS ARE BASED ON NAILS WITH THE FOLLOWING PROPERTIES:

PENNYWEIGHT	DIAMETER (INCHES)	LENGTH (INCHES)
8d	0.131	2-1/2
10d	0.148	3
16d	0.148	3-1/2

ALL NAILS AND STAPLES SHALL CONFORM TO ASTM F1667 INCLUDING SUPPLEMENT 1. FOR DIAPHRAGM OR SHEAR WALL NAILING THE FOLLOWING FASTENER TYPES MAY BE USED AT EQUIVALENT SPACING TO THAT SPECIFIED ON PLANS.

FASTENER TYPE	DIAMETER (INCHES)	LENGTH (INCHES)	EQUIVALENT SPACING (INCHES)		
8d COMMON WIRE	0.131	2-1/2	6	4	3
8d "DIPPED GALV. BOX"	0.131	2-1/2	6	4	3
8d COOLER	0.113	2-1/2	4-1/2	3	2-1/2
14 GA. STAPLES	0.080	1-1/2*	6	4	3
16 GA. STAPLES	0.062	1-1/2*	4	3	-
10d COMMON WIRE	0.148	3	6	4	3
10d "HOT DIPPED GALV. BOX"	0.148	3	6	4	3
10d "SHINY BOX"	0.131	3	4-1/2	3	2-1/4
16d COMMON WIRE	0.162	3-1/2	6	4	3
16d SINKER NAIL	0.148	3-1/4	5	3-1/4	2-1/2

* BASED ON 15/32" PLYWOOD OR OSB.

WOOD SHEATHING (STRUCTURAL): SHEATHING ON WALLS SHALL BE PLYWOOD OR ORIENTED STRAND BOARD (OSB). WOOD SHEATHING SHALL BE "STRUCTURAL I" CONFORMING TO PS1-09 AND/OR PS2-10. ALL PANELS SHALL BEAR THE STAMP OF AN APPROVED GRADING AGENCY. ALL WOOD SHEATHED WALLS SHALL BE BLOCKED AT ALL PANEL EDGES UNLESS NOTED OTHERWISE.

FRAMING LUMBER: STANDARDS. EACH PIECE SHALL BEAR THE GRADE TRADEMARK OF THE WEST COAST LUMBER INSPECTION BUREAU (WCLIB), WESTERN WOOD PRODUCTS ASSOCIATION (WWPA), OR OTHER AGENCY ACCREDITED BY THE AMERICAN LUMBER STANDARD COMMITTEE (ALSC) TO GRADE UNDER ALSC CERTIFIED GRADING RULES.

SPECIES AND GRADE (BASE DESIGN VALUE)
1. EXTERIOR STUDS, AND BLOCKING "DOUG FIR-LARCH" NO. 2 (Fb= 900 PSI, Fc=1350 PSI) OR "HEM-FIR" NO. 1 (Fb=975 PSI, Fc=1350 PSI).

MEMBERS HAVE BEEN DESIGNED TO SERVICEABILITY AND OTHER PERFORMANCE BASED REQUIREMENTS, WHICH MAY EXCEED MINIMUM DESIGN LOADS AND CODE REQUIREMENTS. SUBSTITUTIONS MUST MEET OR EXCEED MOMENT, SHEAR, AND STIFFNESS OF THOSE MEMBERS SPECIFIED AT THE SAME DEPTH AND SPACING.

GENERAL REQUIREMENTS: PROVIDE MINIMUM NAILING PER IBC TABLE 2304.10.1 OR MORE, AS OTHERWISE SHOWN. STAGGER ALL NAILING TO PREVENT SPLITTING OF WOOD MEMBERS. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESERVATIVE TREATED. HOLES AND CUTS IN 3x OR 4x PLATES SHOULD BE TREATED WITH A 9% SOLUTION OF COPPER NAPHTHENATE. BOLT HOLES IN WOOD MEMBERS SHALL BE A MINIMUM OF 1/32" TO A MAXIMUM OF 1/16" LARGER THAN THE BOLT DIAMETER. PROVIDE CUT WASHERS WHERE BOLT HEADS, NUTS AND LAG SCREW HEADS BEAR ON WOOD. PROVIDE A MINIMUM 3"x3"x0.229" PLATE WASHER ON ALL ANCHOR BOLTS WHICH CONNECT MUD SILLS TO FOUNDATION. DO NOT NOTCH OR DRILL STRUCTURAL MEMBERS, EXCEPT AS ALLOWED BY IBC SECTIONS 2308.4.2.4, 2308.5.9, 2308.5.10 AND 2308.7.4 OR AS RESTRICTED BY PLANS OR DETAILS, OR AS APPROVED PRIOR TO INSTALLATION. REFER TO PRESERVATIVE TREATED WOOD REQUIREMENTS IN THESE GENERAL NOTES FOR GALVANIZING REQUIREMENTS FOR CONNECTORS AND FASTENERS.

WOOD SHRINKAGE AND CONSOLIDATION: SHRINKAGE OF WOOD MEMBERS AND CONSOLIDATION OF BEARING WALLS IS EXPECTED FROM TIME OF FRAMING UNTIL AFTER BUILDING IS PUT IN SERVICE. MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS SHALL BE CONSTRUCTED TO ACCOMODATE 1/4" OF TOTAL SETTLEMENT PER STORY.

FRAMING CONNECTORS: SHALL CONFORM TO CURRENT EVALUATION REPORT AND BE MANUFACTURED BY SIMPSON STRONG-TIE COMPANY, SAN LEANDRO, CA., OR PRE-APPROVED EQUAL. PROVIDE MAXIMUM SIZE AND QUANTITY OF NAILS OR BOLTS PER MANUFACTURER, EXCEPT AS NOTED OTHERWISE. PROVIDE LEAD HOLES AS REQUIRED TO PREVENT SPLITTING OF WOOD MEMBERS. REFER TO PRESERVATIVE TREATED WOOD REQUIREMENTS IN THESE GENERAL NOTES FOR GALVANIZING REQUIREMENTS FOR CONNECTORS AND FASTENERS.

MISCELLANEOUS:

PRE-APPROVED SUBSTITUTIONS: SUBSTITUTIONS MAY BE ALLOWED ONLY IF THEY MEET THE REQUIREMENTS OF THESE GENERAL NOTES AND THE SPECIFICATIONS, AND IF COMPLETE WRITTEN ENGINEERING DATA FOR EACH CONDITION REQUIRED FOR THIS PROJECT IS PROVIDED TO THE STRUCTURAL ENGINEER TWO WEEKS PRIOR TO BID DATE AND APPROVED IN WRITTEN ADDENDA BY THE ARCHITECT. DATA IS TO INDICATE CODE BASIS BY YEAR, AUTHORITY FOR STRESSES AND STRESS INCREASES, IF ANY, AND AMOUNT OF EXPECTED DEFLECTION FOR FLEXURAL MEMBERS UNDER (1) TOTAL LOAD AND (2) LIVE LOAD ONLY. ALL INCREASED COSTS IN MECHANICAL, SPRINKLER, ELECTRICAL OR GENERAL INSTALLATION AND ANY ARCHITECTURAL OR STRUCTURAL REDESIGN RESULTING FROM SUBSTITUTION SHALL BE BORNE BY THE GENERAL CONTRACTOR.

SHOP DRAWINGS/SUBMITTALS

THE FOLLOWING SHOP DRAWINGS/SUBMITTALS SHALL BE PROVIDED FOR REVIEW AND APPROVAL BY THE STRUCTURAL ENGINEER PRIOR TO FABRICATION OR DELIVERY.

		STRUCTURAL ENGR.	BLDG. DEPT.
1.	CONTRACTOR'S STATEMENT OF RESPONSIBILITY	X	X

Sheets with Revisions

SHEET NUMBER	SHEET DESCRIPTION	Current Revision
S0.1	GENERAL NOTES	
S0.2	GENERAL NOTES	
S2.0	FIRST/SECOND FLOOR PLAN	
S2.1	THIRD FLOOR/ROOF PLAN	
S3.0	DETAILS	
Grand total: 5		

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Checked: LAH
Date: 07/12/2023
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Revisions:
No. Date Remarks

GENERAL NOTES

S0.1

SPECIAL INSPECTION: SPECIAL INSPECTION SHALL BE PROVIDED BY AN INDEPENDENT TESTING LABORATORY PER THE REQUIREMENTS OF IBC CHAPTER 17 AND THE LOCAL BUILDING OFFICIAL OR APPLICABLE JURISDICTION AND THE CONTRACT DOCUMENTS. THE SPECIAL INSPECTOR SHALL SUBMIT INSPECTION REPORTS AND A FINAL SIGNED REPORT TO THE BUILDING OFFICIAL FOR THE ITEMS LISTED IN THE QUALITY ASSURANCE/SPECIAL INSPECTION SECTION:

STATEMENT OF SPECIAL INSPECTIONS:

SPECIAL INSPECTION: SPECIAL INSPECTION SHALL BE PROVIDED PER THE REQUIREMENTS OF IBC SECTION 1704 AND 1705 AND AS NOTED HEREIN.

STRUCTURAL SYSTEM	VERIFICATION AND INSPECTION	CONTINUOUS	PERIODIC	COMMENTS	REFERENCES
CONCRETE	ANCHORS POST-INSTALLED IN HARDENED CONCRETE (MECHANICAL ANCHORS INSTALLED IN ANY DIRECTION AND ADHESIVE ANCHORS INSTALLED DOWNWARD)		X	PERIODIC INSPECTION TO INCLUDE A QUANTITY OF 10% WITH A MINIMUM OF (5) ANCHORS INSPECTED PER INSTALLER ON A DAILY BASIS	ACI 318: 17.8.2 MFR EVAL REPORT MFR PUBLISHED INSTALLATION INSTRUCTIONS
WOOD FRAMING	SHEAR WALL NAILING		X	SPECIAL INSPECTION NOT REQUIRED FOR FASTENER SPACING > 4" O.C.	IBC 1705.11.1, 1705.12.2, 1705.5
	NAILING, BOLTING, AND ANCHORAGE OF HOLD-DOWNS THAT ARE PART OF THE SEISMIC RESISTING SYSTEM		X		IBC 1705.11.1, 1705.12.2

TESTING AND SPECIAL INSPECTION REPORTS SHALL BE PREPARED FOR EACH INSPECTION ITEM ON A DAILY BASIS WHENEVER WORK IS PERFORMED ON THAT ITEM. REPORTS SHALL BE DISTRIBUTED TO OWNER, CONTRACTOR, BUILDING OFFICIAL, ARCHITECT AND STRUCTURAL ENGINEER OF RECORD.

GENERAL CONTRACTOR SHALL SUBMIT A WRITTEN CONTRACTOR'S STATEMENT OF RESPONSIBILITY TO THE BUILDING OFFICIAL AND OWNER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR'S STATEMENT OF RESPONSIBILITY SHALL INCLUDE ACKNOWLEDGMENT OF AWARENESS OF THE SPECIAL INSPECTION REQUIREMENTS CONTAINED IN THE STATEMENT OF SPECIAL INSPECTION.

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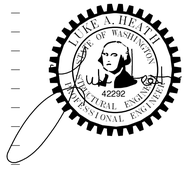

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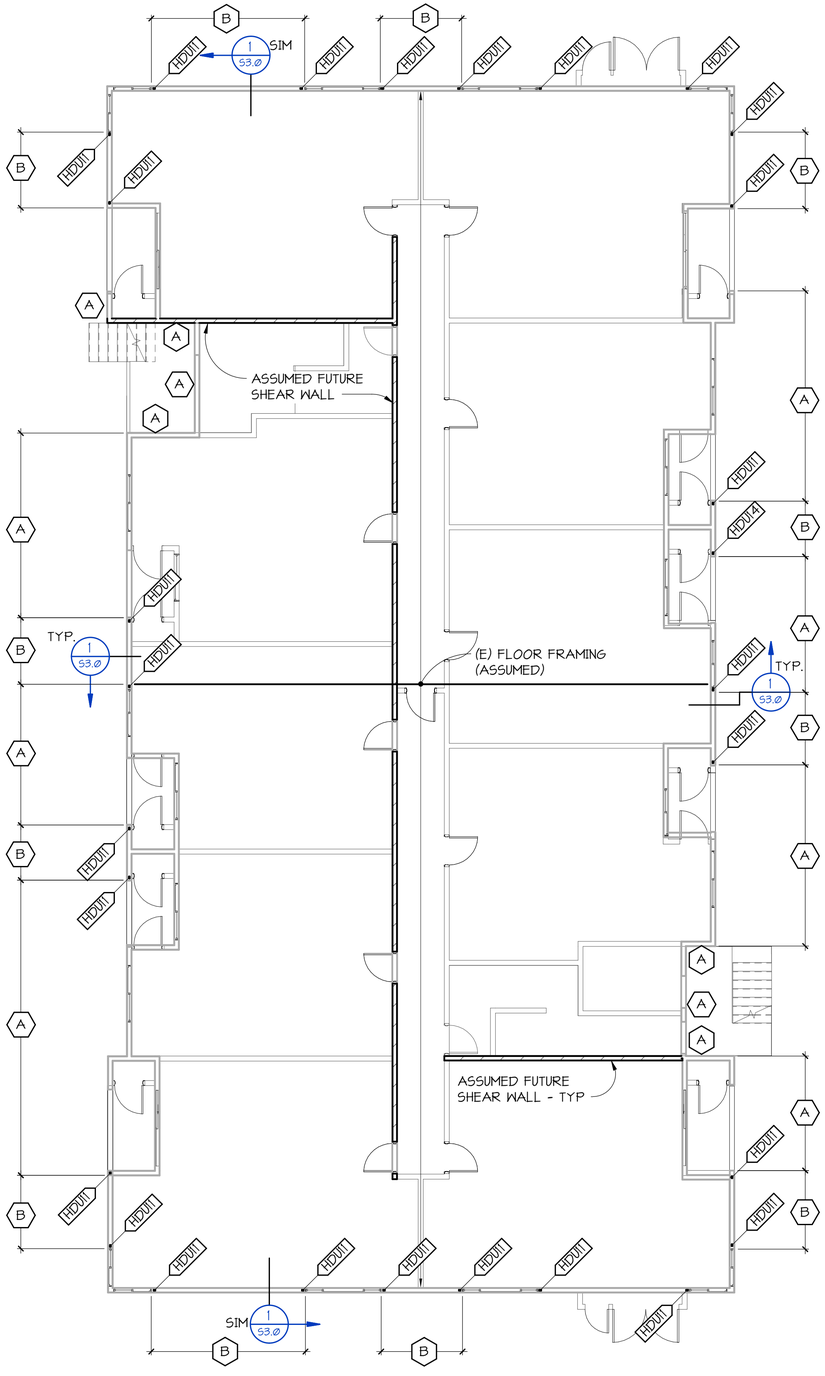
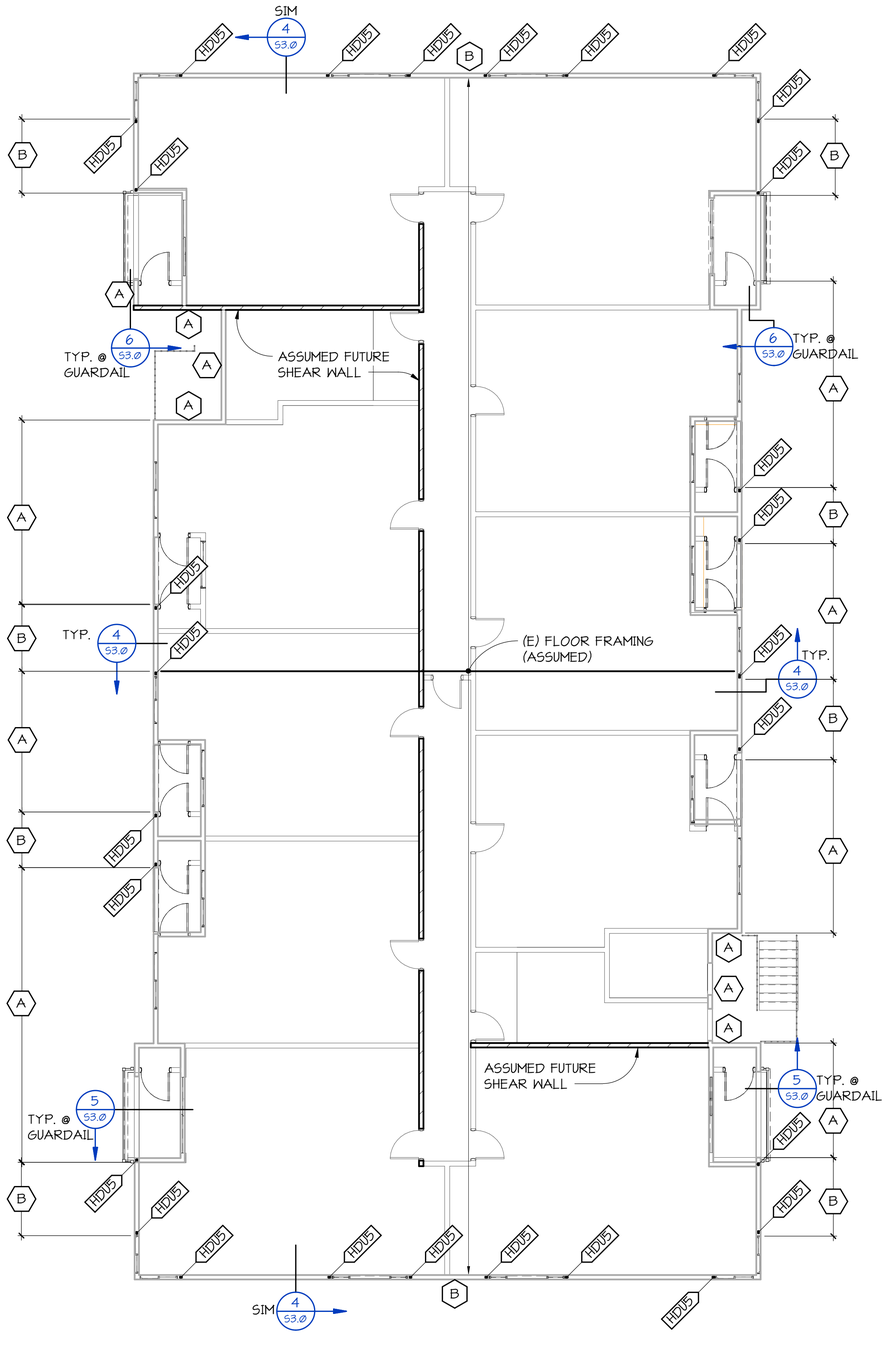
GENERAL NOTES

S0.2



1 1ST FLOOR FRAMING PLAN
1/8" = 1'-Ø"



2 2ND FLOOR FRAMING PLAN
1/8" = 1'-Ø"

FIRST FLOOR FRAMING PLAN NOTES:

1. HDU11 INDICATES HOLDOWN PER 2/53.Ø.
2. X INDICATES WOOD SHEAR WALL. SEE 1Ø/53.Ø FOR SCHEDULE..

SECOND FLOOR FRAMING PLAN NOTES:

1. HDU5 INDICATES FLOOR-TO-FLOOR HOLDOWN PER 7/53.Ø.
2. X INDICATES WOOD SHEAR WALL. SEE 1Ø/53.Ø FOR SCHEDULE.

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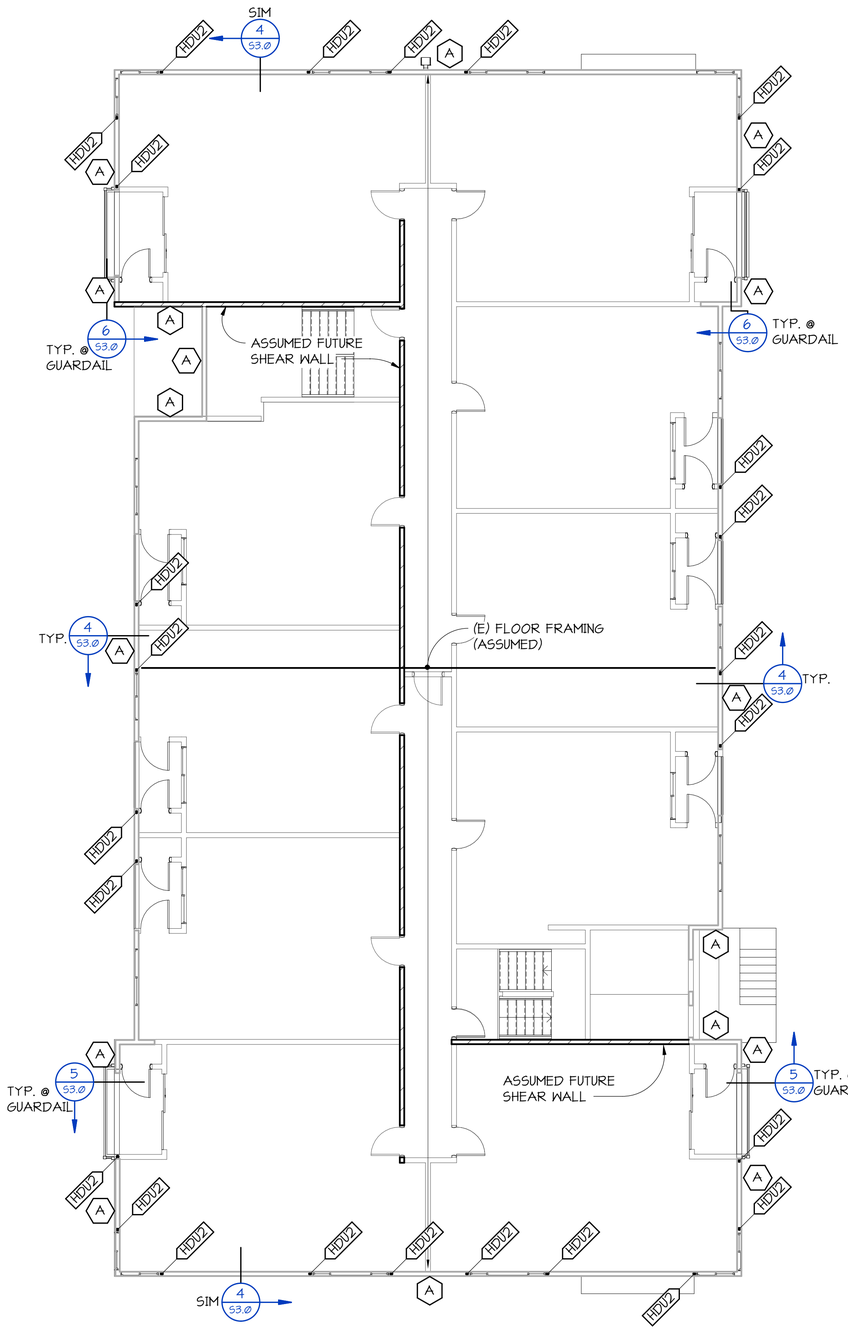
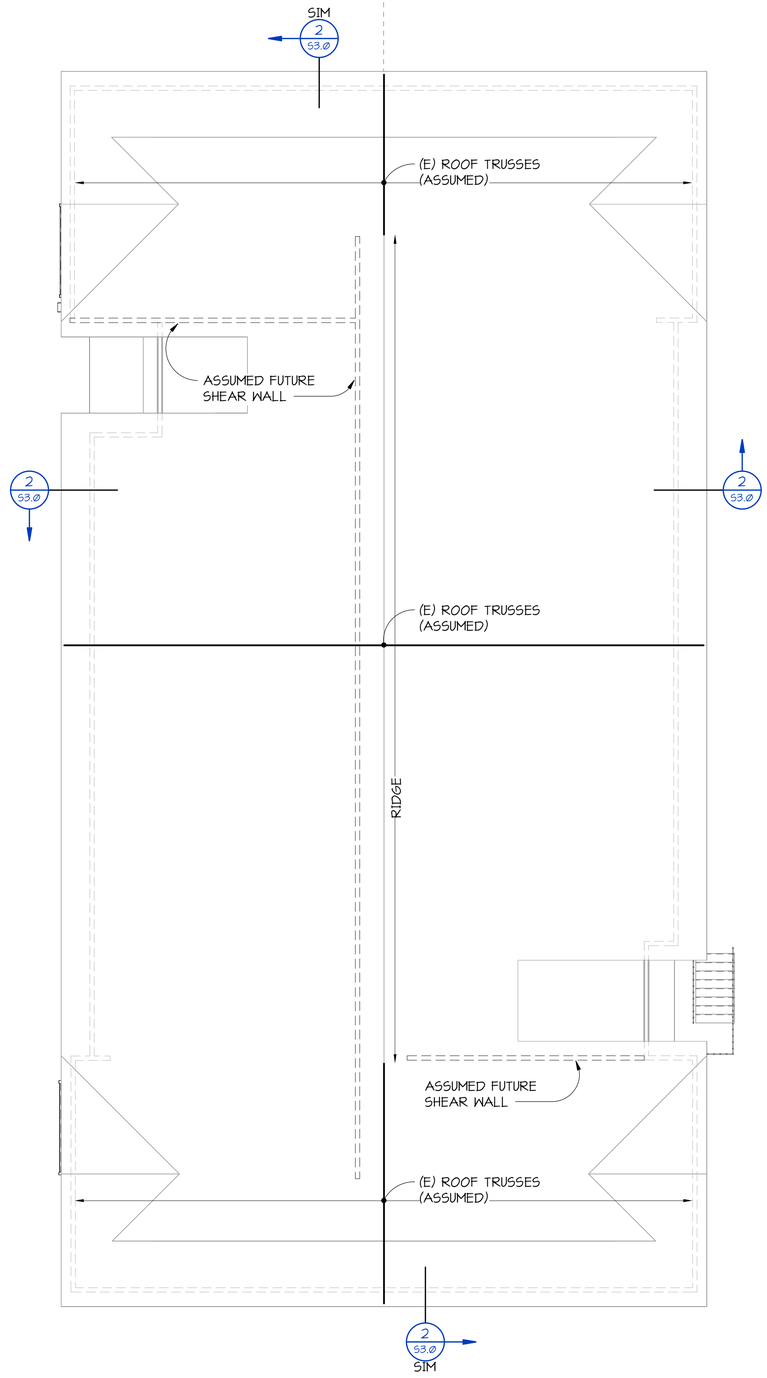
FIRST/SECOND
FLOOR PLAN

S2.0





THIRD FLOOR FRAMING PLAN NOTES:

1. HDU2 INDICATES FLOOR-TO-FLOOR HOLDOWN PER 7/53.Ø.
2. X INDICATES WOOD SHEAR WALL. SEE 1Ø/53.Ø FOR SCHEDULE.

NORTH 1 S2.1 THIRD FLOOR FRAMING PLAN
1/8" = 1'-Ø"

NORTH 2 S2.1 ROOF FRAMING PLAN
1/8" = 1'-Ø"

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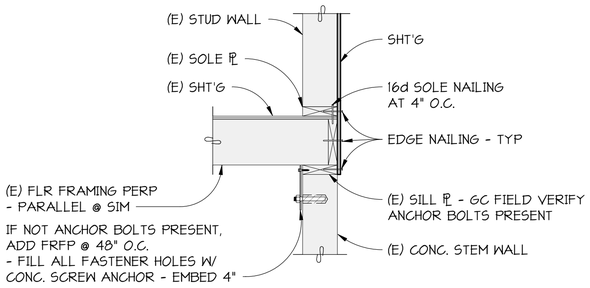
THIRD FLOOR/ROOF PLAN

S2.1



1 / 53.0 SECTION
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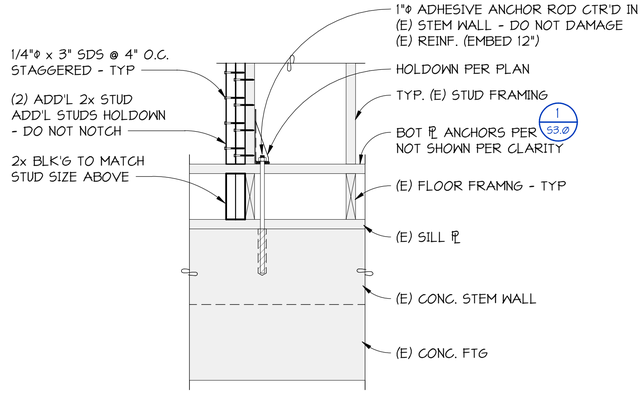

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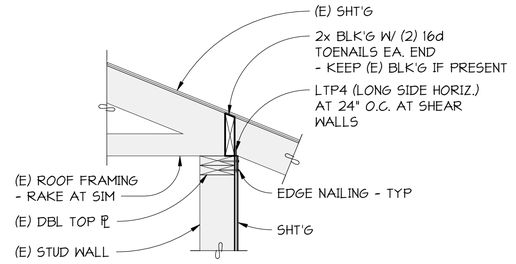

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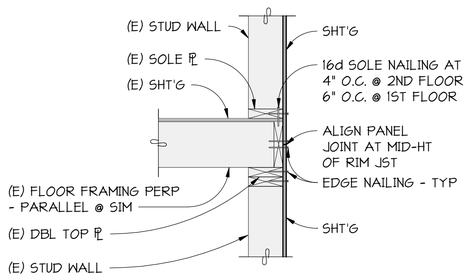

4 / 53.0 SECTION
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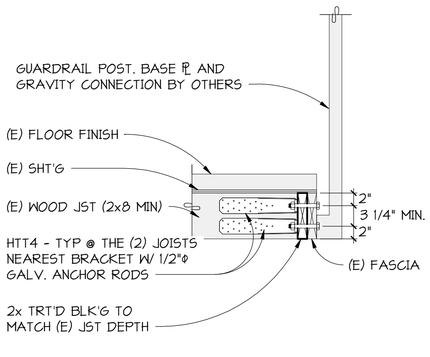

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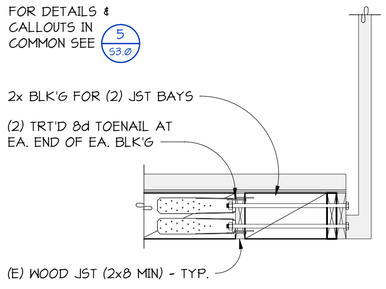

6 / 53.0 SECTION
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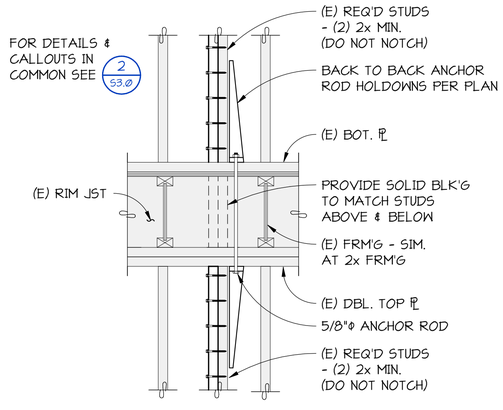
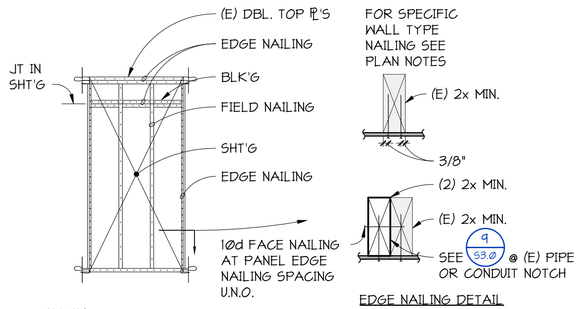


TYPICAL FLOOR TO FLOOR ANCHOR ROD HOLDOWN

7 / 53.0 DETAIL
NO SCALE

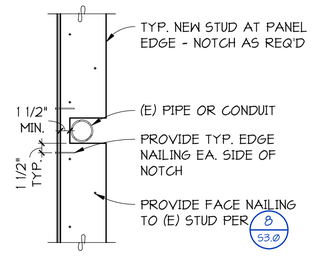


EDGE NAILING DETAIL

NOTES:
1. PANEL EDGE NAILING AND PLATE NAILING SHALL BE STAGGERED IN ALL CASES.
2. SHEATHING JOINT SHALL OCCUR AT COMMON MEMBER UNLESS IT OCCURS AT A SPECIFIED DOUBLE MEMBER.
3. EDGE NAILING APPLIES TO AREAS INDICATED AND AT HOLDOWN ANCHORED STUDS.

TYPICAL SHEARWALL NAILING

8 / 53.0 SCHEDULE
NO SCALE



TYPICAL NOTCHED STUD AT ADD'L PANEL EDGE SUPPORT

9 / 53.0 SECTION
NO SCALE

STUD WALL CONSTRUCTION SCHEDULE							
TABLE 1 - SHEAR WALL REQUIREMENTS							
MARK	WALL SHEATHING	SIDES WITH SHEATHING	SHEATHING NAILS NOTE 2	EDGE NAILING ON CENTER	EDGE FRAMING NOTE 5	FIELD NAILING ON CENTER	BOTTOM PLATE NAILING
A	15/32"	(1)	10d	6"	2x	12"	16d @ 6" O.C.
B	15/32"	(1)	10d	4"	(2) 2x	12"	16d @ 4" O.C.

NOTES:
1. X INDICATES SPECIAL STRUCTURAL WALL MARK. ALL EXTERIOR WALLS SHALL HAVE 15/32" WOOD SHEATHING AND BE NAILED WITH 10d AT 6" ON CENTER AT EDGES AND 12" ON CENTER IN FIELD UNLESS DESIGNATED SPECIAL.
2. ALL EXTERIOR WALLS AND ALL DESIGNATED SHEAR WALLS SHALL BE BLOCKED AT ALL SHEATHING EDGES. EDGE NAILING APPLIES TO ALL TOP AND BOTTOM PLATES, VERTICAL JOINTS, HORIZONTAL BLOCKED JOINTS, WALL CORNERS, AND HOLDOWN ANCHORED STUDS.
3. PROVIDE DOUBLE 2x MEMBERS FACE NAILED PER 8/S3.0 AT ALL ABUTTING PANEL EDGES WHERE INDICATED.
5. WHERE SOLID SAWN STUD LENGTH CANNOT BE OBTAINED, STRUCTURAL COMPOSITE LUMBER STUDS MAY BE SUBSTITUTED. SOLID SAWN FRAMING MAY NOT BE SUBSTITUTED FOR SPECIFIED STRUCTURAL COMPOSITE LUMBER FRAMING.

10 / 53.0 SCHEDULE
NO SCALE

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DETAILS

S3.0