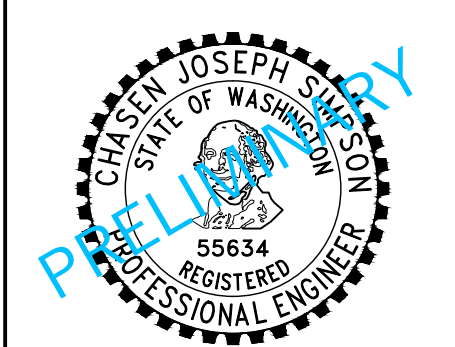


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8-1-1 or
1-800-424-5555
www.callbeforeyoudig.com

0 20' 40'
SCALE 1"=20'

LEGEND

PROPERTY LINE	PROPOSED BUILDING	CONCRETE CURB	SDMH, CB TYPE 2, CB
ROW CENTERLINE	PROPOSED BUILDING ABOVE	CONCRETE CURB & GUTTER	TYPE 1, CLEANOUT, AREA DRAIN, DOWNSPOUT
DEDICATION	PROPOSED BUILDING BELOW	CONCRETE PAVING	FIRE HYDRANT ASSEMBLY
PROPOSED EASEMENT	PROPOSED STORM	ASPHALT PAVING	FIRE DEPARTMENT CONNECTION
BUILDING SETBACK PER ARCH'L PLANS	PROPOSED SEWER	ASPHALT GRIND AND OVERLAY	POST INDICATOR VALVE
LIMITS OF DISTURBANCE	PROPOSED WATER	STANDARD LANDSCAPING	WATER METERS AND VAULTS
EXISTING CONTOUR	PROPOSED COMM	PIPE BEDDING MATERIALS SHALL BE PLACED IN LOOSE LIFTS NOT EXCEEDING 6" IN THICKNESS, AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95% MAXIMUM DRY DENSITY, PER ASTM D1557.	TRENCH BACKFILL MATERIALS SHALL BE PLACED IN 8" TO 12" LOOSE LIFTS AND COMPACTED USING MECHANICAL EQUIPMENT TO ABOUT 90% MAXIMUM DRY DENSITY, AS DETERMINED BY STANDARD PROCTOR (PER ASTM D698).
PROPOSED CONTOUR (MAJOR)	PROPOSED POWER	NOTE: ACCORDING TO THE GEOTECHNICAL ENGINEERING REPORT AND GUIDANCE FROM THE GEOTECHNICAL ENGINEER, IT IS NOT FEASIBLE TO INCORPORATE FOOTING DRAINS OR UNDERSLAB DRAINING FOR THIS BUILDING GIVEN THE SHALLOW GROUNDWATER DEPTH.	IN STRUCTURAL OR PAVED AREAS, THE UPPER 2 FEET OF BACKFILL SHALL BE COMPACTED TO AT LEAST 95% MAXIMUM DRY DENSITY, PER ASTM D1557.
PROPOSED CONTOUR (MINOR)			
GRADE BREAK			



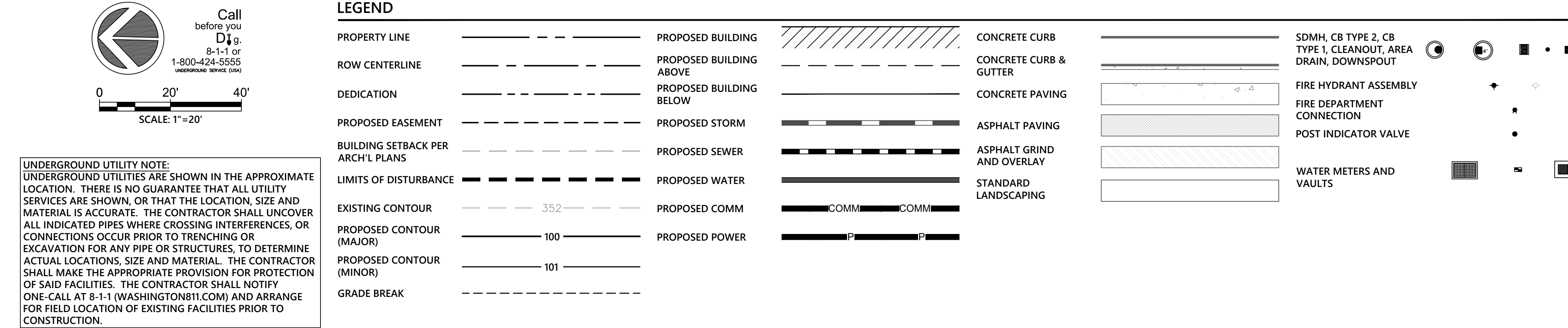
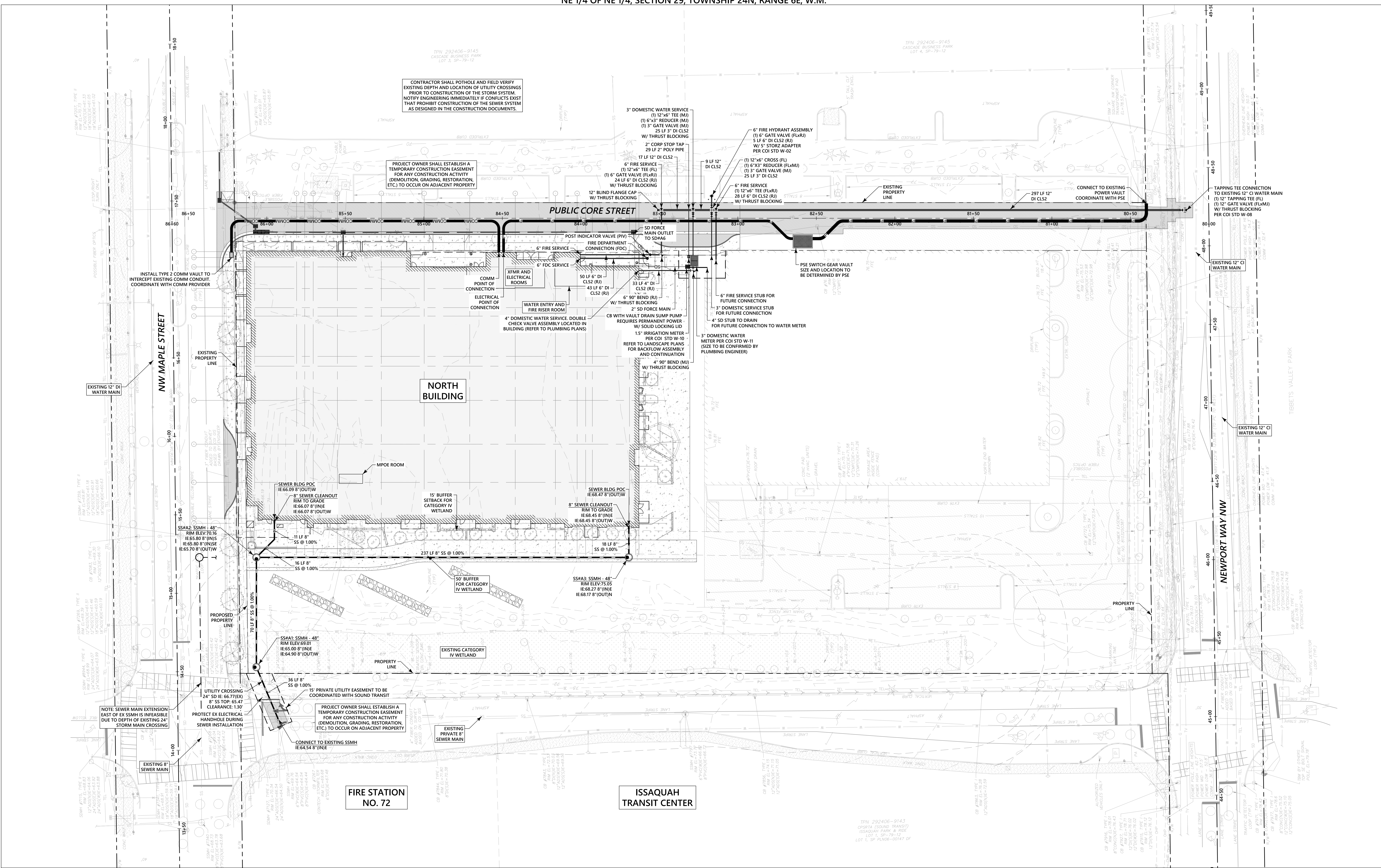
Prepared	Client	Quality
Reviewed	Approved	Reviewed
Design Date:		
Permit Date:		
Revised Date:		
Construction Date:		

Drawn By: JCB
Project Manager: JCB
Principal in Charge: JCB

STORMWATER PLAN

C5.00
Project Number: 2024-17

NOT FOR CONSTRUCTION
100% DESIGN DEVELOPMENT



UTILITY PURVEYORS

WATER:
CITY OF ISSAQUAH
TEL: 425.837.3470

SANITARY SEWER:
CITY OF ISSAQUAH
TEL: 425.837.3470

POWER & NATURAL GAS:
PUGET SOUND ENERGY
10815 NE 4TH ST, SUITE 1200
BELLEVUE, WA 98009
TEL: 888.321.7779

Project:

THE TRAILHEAD1550 Newport Way NW
Issaquah, WA 98027

Client:

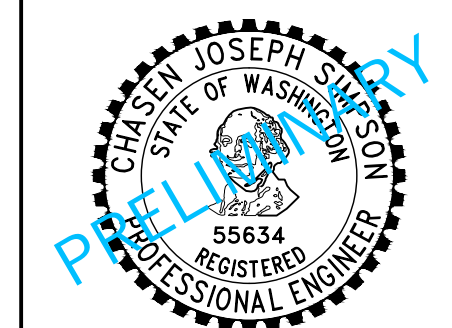
**TRAILHEAD
APARTMENTS LLLP**600 Andover Park W
Seattle, WA 98188

Issue:

100% DD

2025.05.09

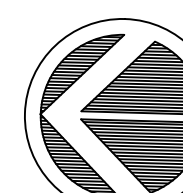
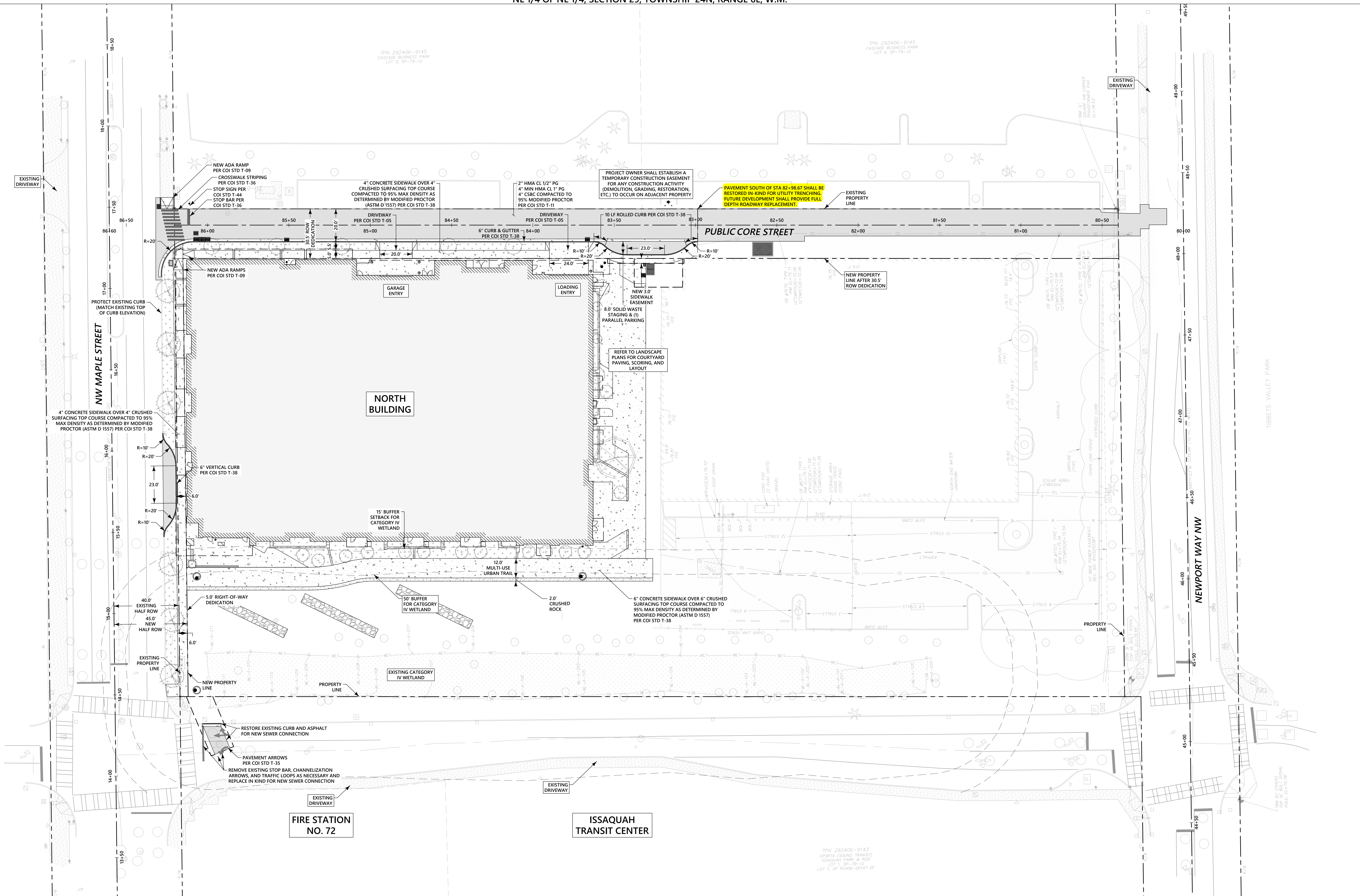
Construction Revision:



Prepared	Checked	Quality Assurance
_____	_____	_____
Design Date:	_____	_____
Permit Date:	_____	_____
Revised Date:	_____	_____
Control Date:	_____	_____

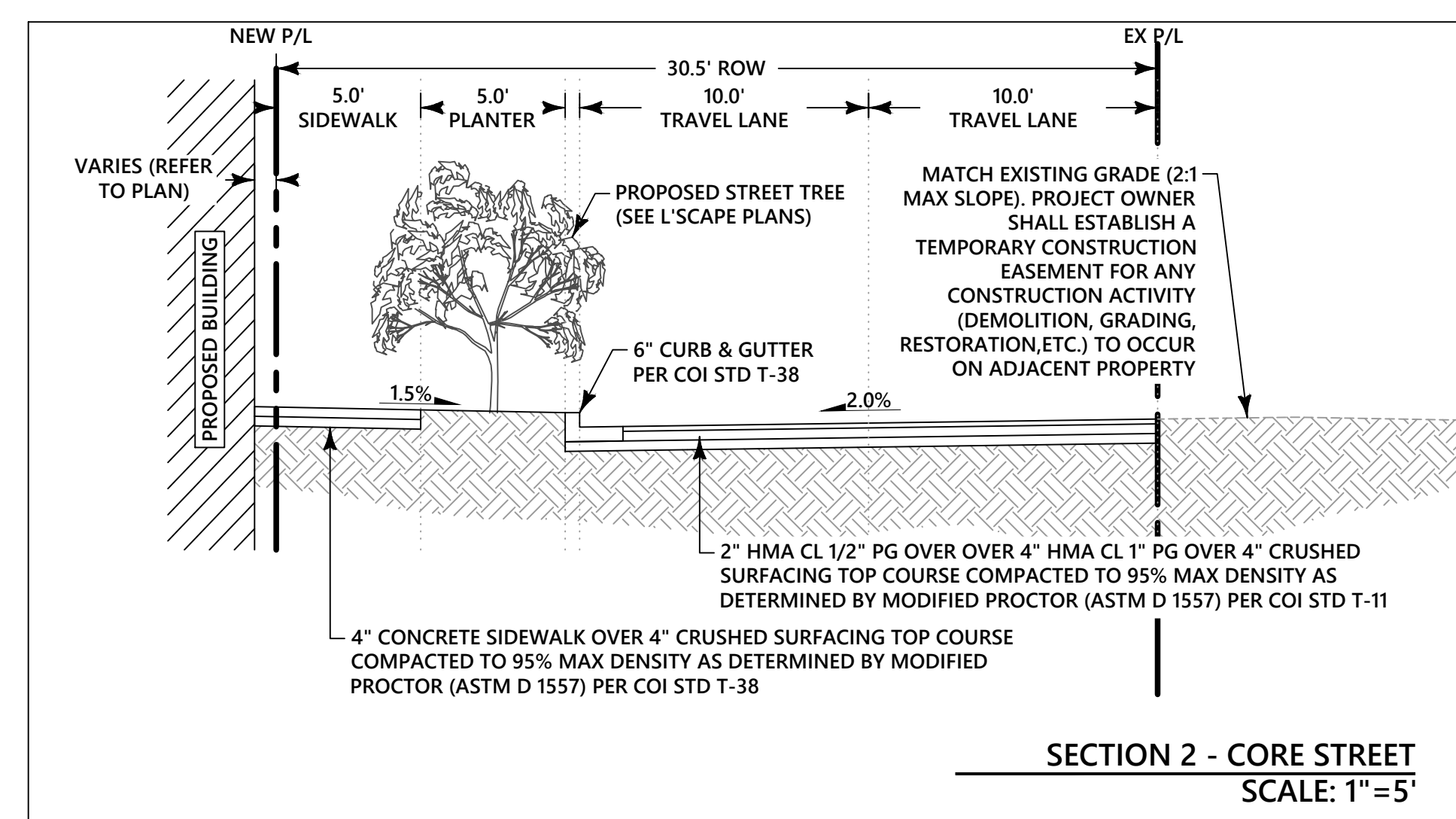
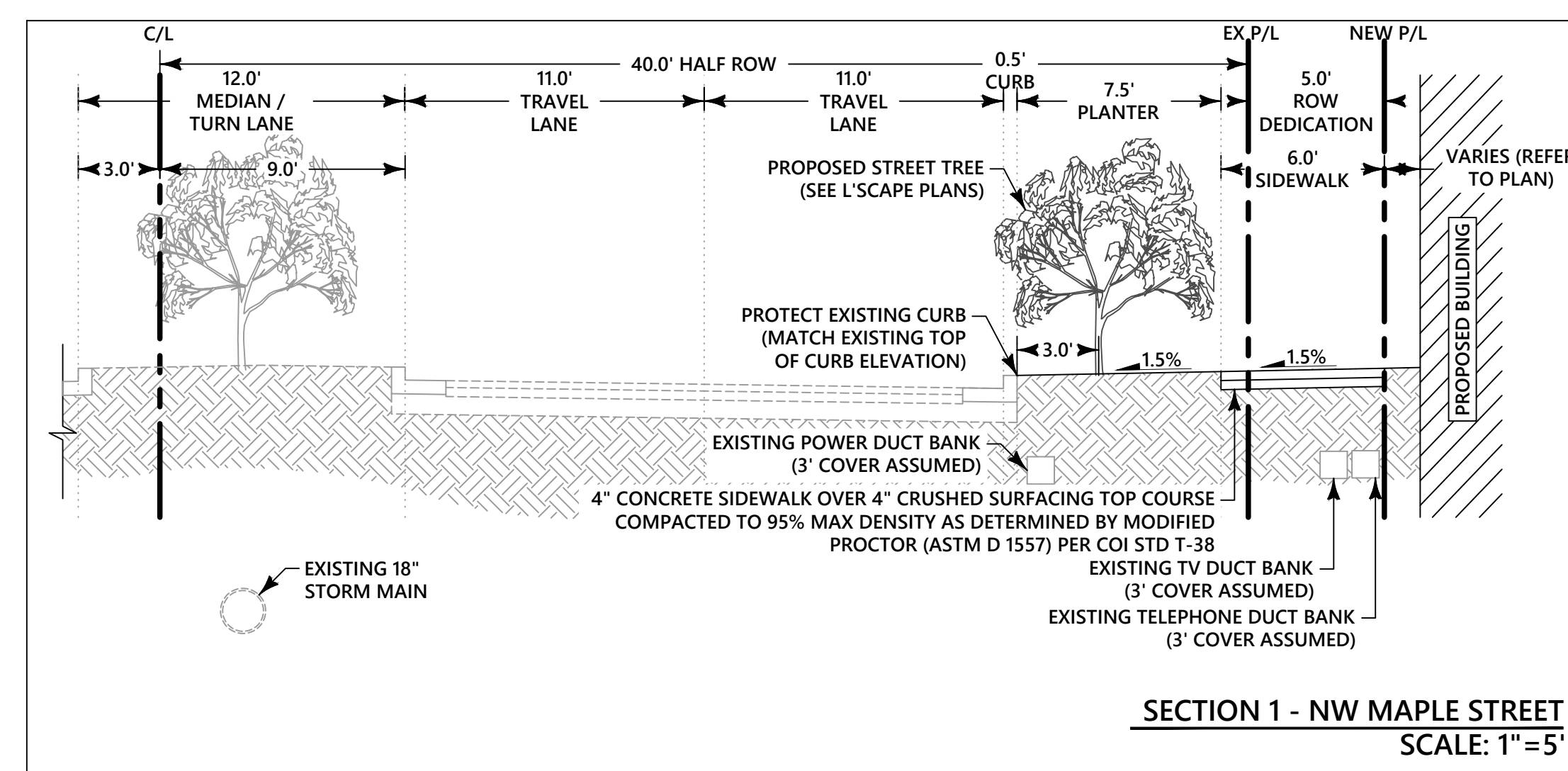
Drawn By: JCB
Project Manager: JCB
Principal in Charge: JCB
**PAVING & HORIZONTAL
CONTROL PLAN****C8.00**

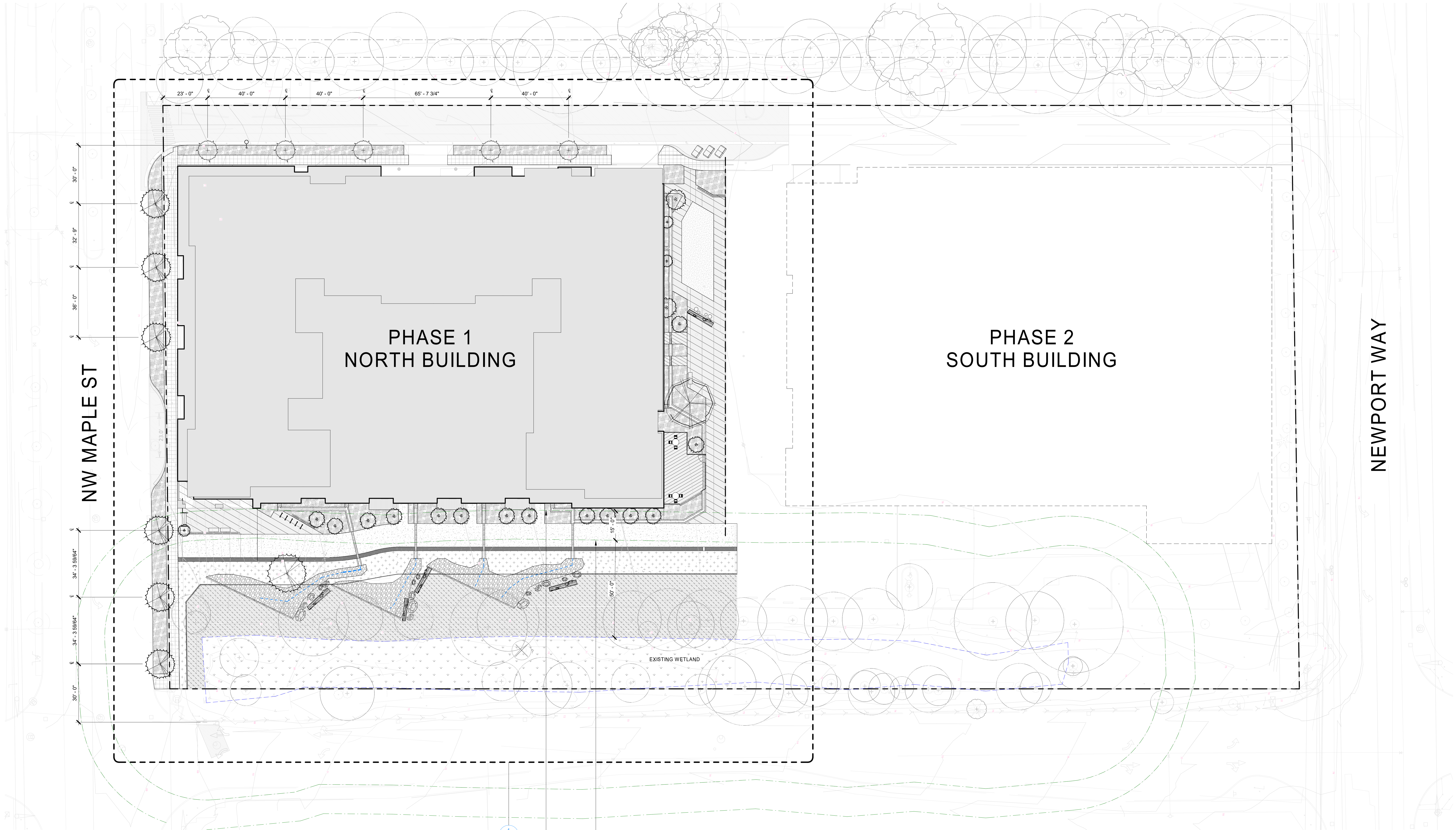
Project Number: 2024-17

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8-1-1 or
1-800-424-5555
(Washington state only)0 20' 40'
SCALE: 1"=20'**LEGEND**

PROPERTY LINE	_____
ROW CENTERLINE	_____
DEDICATION	_____
PROPOSED EASEMENT	_____
BUILDING SETBACK PER ARCH'L PLANS	_____
PROPOSED BUILDING ABOVE	_____
PROPOSED BUILDING BELOW	_____
CONCRETE CURB	_____
CONCRETE CURB & GUTTER	_____
CONCRETE PAVING	_____
ASPHALT PAVING	_____
ASPHALT GRIND AND OVERLAY	_____
STANDARD LANDSCAPING	_____
CHANNELIZATION STRIPING	_____

UNDERGROUND UTILITY NOTE:
UNDERGROUND UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION. THERE IS NO GUARANTEE THAT ALL UTILITY SERVICES ARE SHOWN, OR THAT THE LOCATION, SIZE AND MATERIAL IS ACCURATE. THE CONTRACTOR SHALL UNCOVER ALL INDICATED PIPES WHERE CROSSING INTERFERENCES, OR CONNECTIONS OCCUR PRIOR TO TRENCHING OR EXCAVATION FOR ANY PIPE OR STRUCTURES. TO DETERMINE ACTUAL LOCATIONS, SIZE AND MATERIAL. THE CONTRACTOR SHALL MAKE THE APPROPRIATE PROVISION FOR PROTECTION OF SAID FACILITIES. THE CONTRACTOR SHALL NOTIFY ONE-CALL AT 8-1-1 (WASHINGTON811.COM) AND ARRANGE FOR FIELD LOCATION OF EXISTING FACILITIES PRIOR TO CONSTRUCTION.





1 OVERALL SITE PLAN
SCALE: 1" = 20'-0"

50 FT WETLAND BUFFER
15 FT WETLAND BUFFER BUILDING SETBACK

LANDSCAPE LEGEND - SITE

SYMBOL	ITEM
	A1 2' x 2' C.I.P. CONCRETE PAVING
	A2 C.I.P. CONCRETE PAVING, DIAGONAL 1" x 2" WIDE BOARDWALK PATTERN
	A3 C.I.P. CONCRETE PAVING, DIAGONAL 3' WIDE BOARDWALK PATTERN
	A4 12' WIDE CIP CONCRETE MULTIMODAL TRAIL WITH 24" GRAVEL DISPERSION STRIP
	A5 24" x 24" CONCRETE PAVERS ON PEDESTAL, MUTUAL MATERIALS ARCHITECTURAL SLABS IN GREY, CHARCOAL AND LATTE
	A6 C.I.P. CONCRETE PAVING, DIAGONAL 1" WIDE BOARDWALK PATTERN
	B1 PLAZA VILLAGE BENCH, SURFACE MOUNTED B.O.D.: TOURNESOL.COM
	B2 WOOD LOG, 18-24" DIA NATURAL LOG, 8'-12' LENGTHS
	B3 LOG SEAT, 12"-36" DIA NATURAL STUMPS, 12'-24' LENGTHS
	B4 IRON AGE DESIGN CAST IRON TRENCH DRAIN COVER, RAIN PATTERN, RUNNEL RUNS BELOW
	B5 SPORTWORKS, SURFACE MOUNTED TOFNO BIKE RACK, STAINLESS STEEL
	C1 OPEN RUNNEL TO CONVEY STORMWATER
	C2 WOOD CHIPS
	C3X PREFABRICATED STEEL PLANTERS, SIZES VARY, 24" HT, TYPICAL, STANDARD POWDER COAT COLOR TBD, B.O.D.: TOURNESOL.COM
	C4 SOFTSCAPE AREA
	C5 ASTRO TURF
	D1 30" ALUMINUM PICKET RAILING, SURFACE MOUNTED, BLACK POWDER COAT FINISH
	D2 48" WIDE x 5' TALL WATER JET ALUMINUM SCREEN PANELS, ORNAMENTAL PATTERN TBD, MOUNTED TO LOW CONCRETE STEMWALL @ STREET LEVEL PLAZA
	D4 30" CEDAR TWO-RAIL SPLIT RAIL FENCE, 6" DIAMETER POSTS, SPACED 8'-FEET ON CENTER, EMBED POSTS IN 18" DIAMETER CONCRETE FOOTING, TYPICAL
	P1 FOUNDATION PLANT MIX SEE PLANT SCHEDULE L3.01 IRRIGATION: EFFICIENT DRIP IRRIGATION SYSTEM
	P2 UPLAND BUFFER PLANT MIX UNDERSTORY DRY SHRUB AND PERENNIAL MIX, SEE PLANT SCHEDULE L3.01 IRRIGATION: EFFICIENT DRIP IRRIGATION SYSTEM
	P3 SIDE SLOPE PLANT MIX INVASIVE PLANT REMOVAL, SELECTIVE NATIVE INFILL PLANTING WHERE NEEDED, SEE PLANT SCHEDULE L3.01, IRRIGATION: EFFICIENT POP UP ROTORS POSITIONED AT BUFFER EDGE EVERY 12', SECURED TO STATE
	P4 WETLAND PLANT MIX INVASIVE PLANT REMOVAL, SELECTIVE NATIVE INFILL PLANTING WHERE NEEDED, SEE PLANT SCHEDULE L3.01, IRRIGATION: NO IRRIGATION IN WETLAND

- NOTES:
- SEE CIVIL FOR ALL CURBS, CURB CUTS, VEHICULAR PAVING, AND UTILITIES.
 - ALL AREAS TO BE IRRIGATED WITH EFFICIENT IRRIGATION SYSTEM AND CONTROLLER.
 - ALL PLANTING TO BE OF NATIVE OR ADAPTED, DROUGHT TOLERANT SPECIES.

WEBER
THOMPSON

900 N 34th Street, Suite 200
Seattle, WA 98103
206.544.0700

Project:

THE TRAILHEAD

1550 Newport Way NW
Issaquah, WA 98027

Client:

KING COUNTY
HOUSING AUTHORITY

600 Andover Park W
Seattle, WA 98188

Issue:

1	SD SET	12/03/24
2	SD SET	02/07/25
3	SD SET	07/12/25
4	SD SET	08/08/25

Construction Revision:

Project	Client Approval	Quality Assurance
Submittals	_____	_____
Design Dev	_____	_____
Plant Dev	_____	_____
Rel Dev	_____	_____
Const Dev	_____	_____

Drawn By: _____
Project Manager: _____
Principal in Charge: _____

Author: MF, RM

SITE PLAN

L1.00

Project Number: 24-027

100% DESIGN DEVELOPMENT 05.09.2025
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