



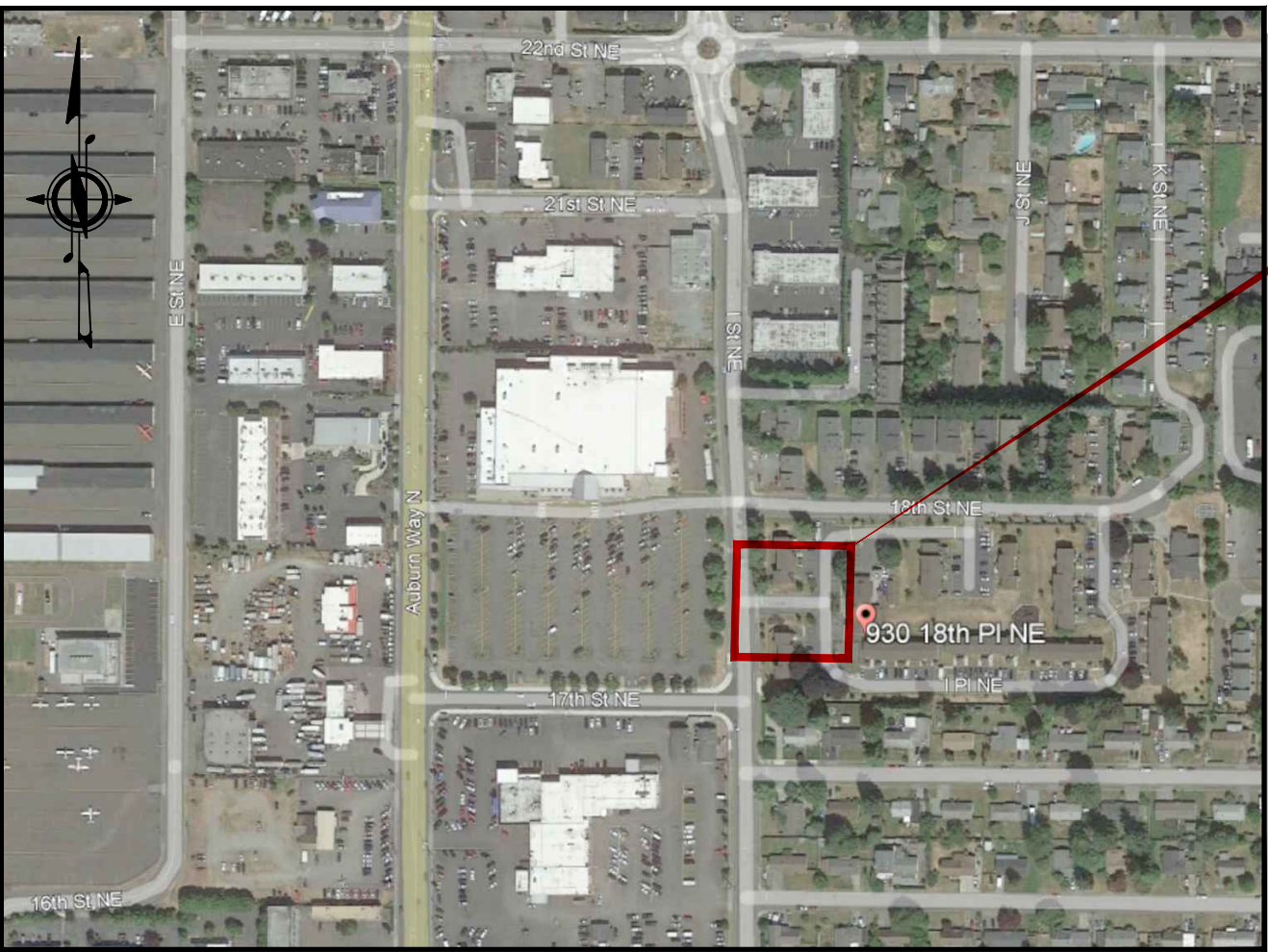
KING COUNTY HOUSING AUTHORITY

BURNDALE HOMES ADDITIONAL TRANSFORMER VAULT

LEGEND

	WATER VALVE
	ELECTRICAL JUNCTION BOX
	BOLLARD
	STORM DRAIN CATCH BASIN
	STORM DRAIN MANHOLE
	SAN. SEWER CLEAN OUT
	SAN. SEWER MANHOLE
	YARD LIGHT
	STREET LIGHT ASSEMBLY
	WATER METER
	FIRE HYDRANT
	POWER VAULT
	ELECTRICAL METER
	SIGN
	GAS METER
	DECIDUOUS TREE AS NOTED
	CONIFER TREE AS NOTED
	FENCE
	UNDERGROUND POWER
	TELEPHONE
	WATER
	SANITARY SEWER
	STORM DRAIN LINE

PROJECT LOCATION MAP



930 18TH PLACE NE
AUBURN, WA 98002
PARCEL # 0001000083

SHEET INDEX

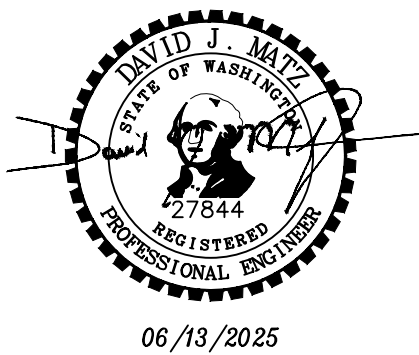
SHEET NO.	SHEET TITLE	DWG NO.
01	COVER	COV
02	GENERAL NOTES	G01
03	EXISTING SITE	C01
04	PROPOSED SITE	C02

CONTACT PERSONNEL

CARL FRANKEL (KCHA)	(206)	574-1283
DAVID MATZ (RH2)	(253)	312-3031
CITY OF AUBURN PUBLIC WORKS	(253)	931-3010
PUGET SOUND ENERGY (GAS & POWER)	(888)	225-5773
CENTURY LINK (TELEPHONE)	(877)	837-5738
COMCAST (CABLE)	(800)	934-6489
ONE-CALL UTILITY LOCATE (PUBLIC)	811	

PROJECT DESCRIPTION

THE OWNER, KCHA, IS CURRENTLY WORKING WITH PSE TO INSTALL A NEW POWER TRANSFORM. THIS PROJECT IS INTENDED TO PROVIDE CONSTRUCTION SUPPORT TO PSE TO COMPLETE THIS EFFORT. THE PROJECT INCLUDES PROVIDING EQUIPMENT, MATERIALS, AND LABOR FOR INSTALLING PSE PROVIDED CONDUIT AND UTILITY VAULT. WORK INCLUDES REMOVAL OF EXISTING FEATURES, SAW CUTTING AND REMOVING ASPHALT, TRENCH EXCAVATION AND INSTALLATION OF CONDUIT PER PSE REQUIREMENTS, EXCAVATING AND FURNISHING SUBGRADE MATERIAL FOR THE INSTALLATION OF UTILITY VAULT, SITE RESTORATION, AND DISPOSAL OF EXCESS MATERIALS AND DEBRIS FROM CONSTRUCTION ACTIVITIES.



NOTES

GENERAL NOTES

1.

WHERE CONFLICTS OCCUR, THE SCOPE OF WORK TAKES PRECEDENCE OVER SPECIFICATIONS, AND SPECIFICATIONS TAKES PRECEDENCE OVER PLANS.
2.

THE GENERAL CONTRACTOR SHALL ARRANGE FOR A PRE-CONSTRUCTION MEETING TO BE ATTENDED BY ALL MAJOR CONTRACTORS, REPRESENTATIVES OF INVOLVED UTILITIES, AND THE KING COUNTY HOUSING AUTHORITY (KCHA). THE CONTRACTOR IS RESPONSIBLE TO HAVE THEIR OWN SET OF PLANS AT THE MEETING, AND 48 HOURS ADVANCE NOTIFICATION PRIOR TO ACTUAL START OF WORK IS REQUIRED.
3.

AFTER COMPLETION OF ALL ITEMS SHOWN ON THESE PLANS AND BEFORE ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL OBTAIN A "PUNCH LIST" PREPARED BY KCHA. DETAILING REMAINING ITEMS OF WORK TO BE COMPLETED. ALL ITEMS OF WORK SHOWN ON THESE PLANS SHALL BE COMPLETED TO THE SATISFACTION OF KCHA PRIOR TO ACCEPTANCE OF THE ELECTRICAL WORK.
4.

ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION (HEREINAFTER REFEREED TO AS THE "STANDARD SPECIFICATIONS"), WASHINGTON STATE DEPARTMENT OF TRANSPORTATION AND AMERICAN PUBLIC WORKS ASSOCIATION, WASHINGTON STATE CHAPTER, LATEST EDITION.
5.

THE LOCATIONS AND ELEVATIONS OF SOME EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS HAVE NOT BEEN EXPOSED AND MEASURED. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK TO AVOID DAMAGE OR DISTURBANCE, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES. IT IS UNDERSTOOD THAT OTHER ABOVE GROUND AND UNDERGROUND FACILITIES NOT SHOWN ON THE PLANS MAY BE ENCOUNTERED DURING THE COURSE OF THE WORK.
6.

THE CONTRACTOR SHALL PROTECT BUILDINGS, FENCES, APPURTENANCES, ABOVE GROUND UTILITIES, AND OTHER PROPERTY ADJACENT TO ALL CONSTRUCTION AREAS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR REPAIRING ALL DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES.
7.

A COPY OF THESE APPROVED PLANS AND SPECIFICATIONS AND DETAILS SHALL BE ON SITE DURING CONSTRUCTION.
8.

ANY REVISIONS MADE TO THESE PLANS MUST BE REVIEWED AND APPROVED BY THE KCHA ENGINEER PRIOR TO ANY IMPLEMENTATION IN THE FIELD.
9.

THE CONTRACTOR SHALL HAVE ALL UTILITIES VERIFIED ON THE GROUND PRIOR TO ANY CONSTRUCTION. CALL (811) AT LEAST TWO WORKING DAYS IN ADVANCE. THE OWNER AND HIS/HER ENGINEER SHALL BE CONTACTED IMMEDIATELY IF A CONFLICT EXISTS.
10.

ANY AND ALL CONSTRUCTION SURVEYING FOR EXTENSIONS OF PUBLIC FACILITIES SHALL BE DONE UNDER THE DIRECTION OF A WASHINGTON STATE LICENSED LAND SURVEYOR OR A WASHINGTON STATE PROFESSIONAL CIVIL ENGINEER.
11.

DURING CONSTRUCTION, ALL PUBLIC STREETS ADJACENT TO THIS PROJECT SHALL BE KEPT CLEAN OF ALL MATERIAL DEPOSITS RESULTING FROM ON-SITE CONSTRUCTION, AND EXISTING STRUCTURES SHALL BE PROTECTED AS DIRECTED BY THE CITY.
12.

CERTIFIED RECORD DRAWINGS ARE REQUIRED PRIOR TO PROJECT ACCEPTANCE.
13.

NO SURVEY MONUMENT SHALL BE DISTURBED OR DESTROYED (THE PHYSICAL DISTURBANCE OR COVERING OF A MONUMENT SUCH THAT THE SURVEY POINT IS NO LONGER VISIBLE OR READILY ACCESSIBLE).

DAILY CLEANUP

1.

THE CONTRACTOR SHALL CLEANUP ALL AREAS AFFECTED BY HIS ACTIVITIES TO THE SATISFACTION OF THE OWNER BY THE END OF EACH WORKING DAY OR MORE FREQUENTLY IF REQUIRED BY THE OWNER. THIS INCLUDES REMOVAL OF ALL DUST, CONSTRUCTION SPOILS, MUD, ROCKS, ASPHALT DEBRIS, AND REFUSE FROM STREETS, SIDEWALKS, COURTYARDS, DRIVEWAYS, AND ANY OTHER AREAS AFFECTED BY THE CONSTRUCTION ACTIVITIES.
2.

FAILURE TO CLEANUP TO THE SATISFACTION OF THE OWNER WILL NECESSITATE A SHUTDOWN OF THE PROJECT UNTIL CLEANUP IS PROPERLY PERFORMED.
3.

DAILY CLEANUP IS AN INTEGRAL PART OF EROSION AND POLLUTION CONTROL.

RESTORATION NOTES

1.

THE CONTRACTOR MAY LEAVE TRENCH SECTION OPEN OVERNIGHT BUT SHALL COVER ALL TRENCH SECTIONS WITH STEEL SHEETS AT THE END OF THE WORK DAY. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE EVERY TIME THIS OCCURS.
2.

THE TEMPORARY SURFACING SHALL BE MAINTAINED DAILY THROUGHOUT THE DURATION OF THE PROJECT TO PREVENT POTHOLES AND RUTS FROM FORMING. ALL POTHOLES, RUTS, AND BUMPS MUST BE REPAIRED IF THEY EXCEED ONE INCH IN DEPTH OR HEIGHT.

SITE SAFETY

1.

THE SITE WILL BE OCCUPIED BY BUILDING TENANTS FOR THE DURATION OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATE SITE FENCING, BARRIERS, AND SECURITY OF ALL AREAS AND MATERIALS UTILIZED FOR CONSTRUCTION. SPOTTERS SHALL BE PROVIDED FOR THE MOVEMENT OF CONSTRUCTION EQUIPMENT THROUGH OCCUPIED AREAS.

TRAFFIC CONTROL

1.

THE CONTRACTOR SHALL PROVIDE FOR EMERGENCY VEHICLE ACCESS TO ALL PORTIONS OF THE SITE AT ALL TIMES.
2.

THE CONTRACTOR SHALL RESTORE ACCESS TO ALL UNITS AND PARKING AREA BY THE END OF EACH WORK DAY.
3.

THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN AND ASPHALT PHASING PLAN FOR OWNER'S APPROVAL. ALL TRAFFIC CONTROL DEVICES SHALL MEET THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) REQUIREMENTS. ALL BARRICADES SHALL HAVE AMBER FLASHING LIGHTS FOR USE AT NIGHT. SEE SPECIFICATIONS.

PEDESTRIAN TRAFFIC CONTROL

4.

PEDESTRIAN ACCESS TO ALL UNITS SHALL BE PROVIDED AT ALL TIMES.
5.

THE CONTRACTOR MAY CLOSE SIDEWALKS DURING CONSTRUCTION BUT MUST PROVIDE FOR SAFE PEDESTRIAN ACCESS TO ALL BUILDINGS AT ALL TIMES.
6.

THE CONTRACTOR SHALL PROVIDE TEMPORARY CRUSHED SURFACING FOR ALL WALKWAYS AND COURTYARDS AFTER THE HARDSCAPE SURFACES HAVE BEEN REMOVED AND PRIOR TO REPLACING THEM.
7.

THE CONTRACTOR SHALL PROVIDE FOR ALTERNATIVE PEDESTRIAN ROUTES AROUND PATHS THAT ARE TO BE REMOVED AND REBUILT.
8.

THE CONTRACTOR SHALL PROVIDE BARRIERS AND SAFETY SIGNAGE AS NECESSARY TO PROTECT PEDESTRIANS FROM AREAS UNDER CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE THAT OCCURS DUE TO PEDESTRIANS TRESPASSING BARRIERS.
9.

THE CONTRACTOR SHALL TAKE EXTRA CARE TO KEEP ALL PEDESTRIAN CROSSING AREAS FREE FROM CONSTRUCTION EQUIPMENT, MATERIALS, AND DEBRIS.

PARKING AND STAGING

1.

THE SITE WILL BE OCCUPIED FOR THE DURATION OF CONSTRUCTION. STAGING IS THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR THE USE OF PARKING SPACES FOR DAILY CONSTRUCTION PARKING.

TREE PROTECTION & VEGETATION REMOVAL NOTES

1.

THE CONTRACTOR SHALL PRESERVE ONSITE VEGETATION TO THE MAXIMUM EXTENT POSSIBLE.
2.

ALL SCHEDULED LANDSCAPED / UNIMPROVED AREAS TO BE DISTURBED SHALL BE RESTORED AS SHOWN IN THE PLANS. NO ADDITIONAL PAYMENT WILL BE MADE FOR DISTURBED AREAS NOT SHOWN IN THE PLANS.
3.

STANDARD TRENCHING MAY BE USED WITHIN THE PERIMETER CRITICAL ROOT ZONE (PCRZ) AND OUTSIDE THE INTERIOR CRITICAL ROOT ZONE (ICRZ). TOP 4 INCHES SHALL BE RESTORED WITH MULCH (WSDOT STD SPEC 9-14.4(3)) DIRECTED BY THE OWNER OR THE OWNER'S REPRESENTATIVE EVERY TIME THIS OCCURS.
4.

THE TEMPORARY SURFACING SHALL BE MAINTAINED DAILY THROUGHOUT THE DURATION OF THE PROJECT TO PREVENT POTHOLES AND RUTS FROM FORMING. ALL POTHOLES, RUTS, AND BUMPS MUST BE REPAIRED IF THEY EXCEED ONE INCH IN DEPTH OR HEIGHT.
5.

ALL AREAS WHERE VEGETATION IS TO BE REMOVED, VOIDS SHALL BE BACKFILL WITH NATIVE SOIL AS DIRECTED BY THE OWNER AND TOP 4 INCHES SHALL BE RESTORED WITH MULCH (WSDOT STD SPEC 9-14.4(3)).

TRENCH DEWATERING:

1.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEVELOPMENT OF A TRENCH DEWATERING PLAN. THE CONTRACTOR SHALL DEVELOP AND SUBMIT FOR APPROVAL A DEWATERING PLAN SUITABLE FOR HIS/HER METHOD OF PIPELINE CONSTRUCTION.

EROSION AND SEDIMENTATION CONTROL NOTES:

1.

ALL LIMITS OF CLEARING AND AREAS OF VEGETATION PRESERVATION AS PRESCRIBED ON THE PLANS SHALL BE CLEARLY FLAGGED IN THE FIELD AND OBSERVED DURING CONSTRUCTION.
2.

ALL REQUIRED SEDIMENTATION AND EROSION CONTROL FACILITIES MUST BE CONSTRUCTED AND IN OPERATION PRIOR TO ANY LAND CLEARING AND/OR OTHER CONSTRUCTION TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT ENTER THE NATURAL DRAINAGE SYSTEM. THE CONTRACTOR SHALL SCHEDULE AN INSPECTION OF THE EROSION CONTROL FACILITIES PRIOR TO ANY LAND CLEARING AND/OR OTHER CONSTRUCTION. ALL EROSION AND SEDIMENT FACILITIES SHALL BE MAINTAINED IN A SATISFACTORY CONDITION AS DETERMINED BY THE CITY, UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED. THE IMPLEMENTATION, MAINTENANCE, REPLACEMENT, AND ADDITIONS TO THE EROSION AND SEDIMENTATION CONTROL SYSTEMS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3.

THE EROSION AND SEDIMENTATION CONTROL SYSTEM FACILITIES ARE INTENDED TO BE MINIMUM REQUIREMENTS TO MEET ANTICIPATED SITE CONDITIONS. AS CONSTRUCTION PROGRESSES AND UNEXPECTED OR SEASONAL CONDITIONS DICTATE, FACILITIES WILL BE NECESSARY TO ENSURE COMPLETE SILTATION CONTROL ON THE SITE. DURING THE COURSE OF CONSTRUCTION, IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES, OVER AND ABOVE THE MINIMUM REQUIREMENTS, AS MAY BE NEEDED TO PROTECT ADJACENT PROPERTIES, SENSITIVE AREAS, NATURAL WATER COURSES, AND/OR STORM DRAINAGE SYSTEMS.
4.

ANY DISTURBED AREAS WHICH HAS BEEN STRIPPED OF VEGETATION AND WHERE NO FURTHER WORK IS ANTICIPATED FOR A PERIOD OF 30 DAYS OR MORE, MUST BE IMMEDIATELY STABILIZED WITH MULCHING, GRASS PLANTING, OR OTHER APPROVED EROSION CONTROL TREATMENT APPLICABLE TO THE TIME OF YEAR IN QUESTION. GRASS SEEDING ALONG WILL BE ACCEPTABLE ONLY DURING THE MONTHS OF APRIL THROUGH SEPTEMBER INCLUSIVE. SEEDING MAY PROCEED OUTSIDE THE SPECIFIED TIME PERIOD WHENEVER IT IS IN THE INTEREST OF THE PERMITEE BUT MUST BE AUGMENTED WITH MULCHING, NETTING, OR OTHER TREATMENT APPROVED BY KCHA.
5.

IN CASE EROSION OR SEDIMENTATION OCCURS TO ADJACENT PROPERTIES, ALL CONSTRUCTION WORK WITHIN THE RIGHT-OF-WAY THAT WILL FURTHER AGGRAVATE THE SITUATION MUST CEASE, AND THE CONTRACTOR WILL IMMEDIATELY COMMENCE RESTORATION METHODS. RESTORATION ACTIVITY WILL CONTINUE UNTIL SUCH A TIME AS THE AFFECTED PROPERTY OWNER IS SATISFIED.
6.

NO TEMPORARY OR PERMANENT STOCKPILING OF MATERIALS OR EQUIPMENT SHALL OCCUR WITHIN CRITICAL AREAS OR ASSOCIATED BUFFERS, OR THE CRITICAL ROOT ZONE FOR VEGETATION PROPOSED FOR RETENTION.

SURVEY NOTES

LEGAL DESCRIPTION

THAT PORTION OF THE SOUTH HALF OF WILLIAM H. BRANNON DONATION LAND CLAIM NO. 37 IN THE NORTHWEST QUARTER AND THE NORTHEAST QUARTER OF SECTION 7, TOWNSHIP 21 NORTH, RANGE 5 EAST, WILLAMETTE MERIDIAN, IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT ON THE WEST LINE OF SAID DONATION LAND CLAIM WHICH IS 1485 FEET NORTH OF THE SOUTHWEST CORNER THEREOF;
THENCE EAST, PARALLEL TO THE SOUTH LINE THEREOF, 625.44 FEET TO THE TRUE POINT OF BEGINNING;
THENCE CONTINUE EAST, 814.96 FEET;
THENCE NORTH, PARALLEL TO THE WEST LINE OF SAID DONATION LAND CLAIM, 353.84 FEET;
THENCE WEST, PARALLEL TO THE SOUTH LINE OF SAID DONATION LAND CLAIM, 828.47 FEET;
THENCE SOUTHEASTERLY 354 FEET, MORE OR LESS, TO THE TRUE POINT OF BEGINNING;
EXCEPT THAT PORTION CONVEYED TO THE CITY OF AUBURN FOR STREET PURPOSES BY DEED RECORDED UNDER AUDITOR'S FILE NO. 6025231, RECORDS OF KING COUNTY, WASHINGTON;

TOGETHER WITH THAT PORTION OF RIGHT OF WAY AS VACATED UNDER CITY OF AUBURN ORDINANCE NUMBER 6302, RECORDED UNDER RECORDING NO. 20100617001245, AS WOULD ATTACH BY OPERATION OF LAW.

GENERAL NOTES

1.

PRIMARY CONTROL POINTS AND ACCESSIBLE MONUMENT POSITIONS WERE FIELD MEASURED UTILIZING GLOBAL POSITIONING SYSTEM (GPS) SURVEY TECHNIQUES USING LEICA SYSTEM 1200 EQUIPMENT. MONUMENT POSITIONS THAT WERE NOT DIRECTLY OBSERVED USING GPS SURVEY TECHNIQUES WERE TIED INTO THE CONTROL POINTS UTILIZING LEICA ELECTRONIC TOTAL STATIONS FOR THE MEASUREMENT OF BOTH ANGLES AND DISTANCES. THIS SURVEY MEETS OR EXCEEDS THE STANDARDS SET BY WAC 332-130-090.
2.

THE INFORMATION DEPICTED ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE ON DATE INDICATED AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITION EXISTING AT THAT TIME.
3.

THIS TOPOGRAPHIC SURVEY DRAWING WAS CREATED BY MERGING DATA FROM TWO SOURCES:

A.

A TOPOGRAPHIC SURVEY BY CTS ENGINEER; A DIGITAL COPY OF A SURVEY DATED 5/29/09 AND LABELED "PRELIMINARY" WAS PROVIDED TO TRIAD ASSOCIATES BY THE KING COUNTY HOUSING AUTHORITY.

B.

SURVEYING BY TRIAD ASSOCIATES IN DECEMBER, 2013 AND JANUARY, 2014 WHICH LOCATED CERTAIN IMPROVEMENTS IN THE NORTHEAST CORNER OF THE SITE, AS NOTED, ALONG WITH THE UNDERGROUND GAS, POWER, TELEPHONE, AND WATER LINES. MT. VIEW LOCATING, BONNEY LAKE, WA PROVIDED UTILITY LOCATING AND DETECTION SERVICES FOR THE RECENT SURVEYING.
4.

UTILITY LOCATIONS SHOWN ON THIS SURVEY DRAWING ARE BASED UPON FIELD LOCATION OF EXISTING UTILITY STRUCTURES, FIELD LOCATION OF CONDUCTIBLE UNDERGROUND UTILITIES BASED ON PAINT MARKS OR OTHER MARKINGS ESTABLISHED BY A UTILITY LOCATE SERVICE AND THE TOPOGRAPHIC SURVEY BY CTS ENGINEERS (SEE NOTE 3). OTHER UNDERGROUND UTILITIES MAY EXIST. NO SUB-SURFACE EXPLORATION WAS DONE TO VERIFY UTILITY ROUTINGS. THE ROUTING OF ALL BURIED UTILITIES SHOULD BE CONFIRMED WITH THE UTILITY PURVEYOR AND EXPOSED IN AREAS CRITICAL TO DESIGN.
5.

COORDINATES ASSOCIATED WITH THIS DRAWING WASHINGTON STATE (NORTH ZONE) PLANE GRID COORDINATES.
6.

THIS SURVEY IS BASED ON THE LEGAL DESCRIPTION AND EASEMENTS SUPPLIED BY SECOND SUBDIVISION GUARANTEE ORDER NO. 0006678-06 DATED DECEMBER 24TH, 2013 AT 8:00 AM PREPARED BY CHICAGO TITLE INSURANCE COMPANY OF SEATTLE, WASHINGTON.

BOUNDARY NOTES

1.

THE BOUNDARY LINES WERE DETERMINED BY ACCEPTING THE MONUMENTS FOUND ALONG THE CENTERLINE OF 18TH STREET NE AND THE MONUMENT AT THE INTERSECTION OF 17TH STREET NE AND "I" STREET NE AS MONUMENTS OF LOCAL CONTROL. THESE MONUMENTS WERE ACCEPTED DUE TO THE UNCERTAINTY REGARDING THE LOCATION OF SOUTHWEST CORNER OF THE WILLIAM H. BRANNON DONATION LAND CLAIM NO. 37.
2.

THE WEST LINE OF KING COUNTY TAX PARCEL NO. 000100005909 AND AMBER LANE (1ST AMENDEMENT TO CONDOMINIUM PLAN RECORDED IN VOLUME 14 OF CONDOMINIUMS AT PAGE 86), WERE DETERMINED USING THE INFORMATION FROM THE RECORD OF SURVEY RECORDED UNDER RECORDING NUMBER 9205019017, RECORDS OF KING COUNTY, WASHINGTON.
3.

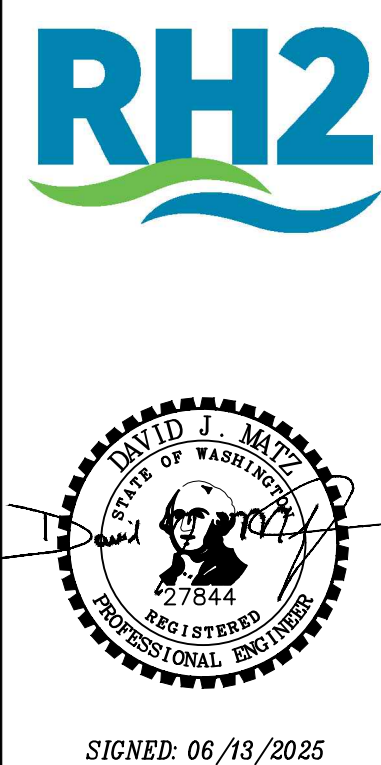
THE CENTERLINE OF "I" STREET NE WE CALCULATED USING THE CENTERLINE ALIGNMENT SHOWN ON THE PLAT OF MEADOW BROOK ESTATES RECORDED IN VOLUME 122 OF PLATS, AT PAGES 83 AND 84, RECORDS OF KING COUNTY, WASHINGTON.

VERTICAL DATUM

NAVD 88 - (BASED ON SURVEY CONTROL AS ESTABLISHED BY WASHINGTON STATE DEPARTMENT OF TRANSPORTATION)

HORIZONTAL DATUM

NAD83(2011) - WASHINGTON NORTH ZONE (BASED ON SURVEY CONTROL AS ESTABLISHED BY WASHINGTON STATE DEPARTMENT OF TRANSPORTATION)



KING COUNTY HOUSING AUTHORITY

BURNDAL HOMES

ADDITIONAL TRANSFORMER VAULT

GENERAL NOTES



ENGINEER: KEP	SHEET DATE: Jun 13, 2025	CLIENT: KCH	JOB NO.: 21-0221	REVISIONS				NO.	DATE	DESCRIPTION	BY	REVIEW
REVIEWED: DJM	PLOT DATE: Jun 13, 2025	FILENAME: BHD-COV.DWG										

SCALE: SHOWN

0"

1"

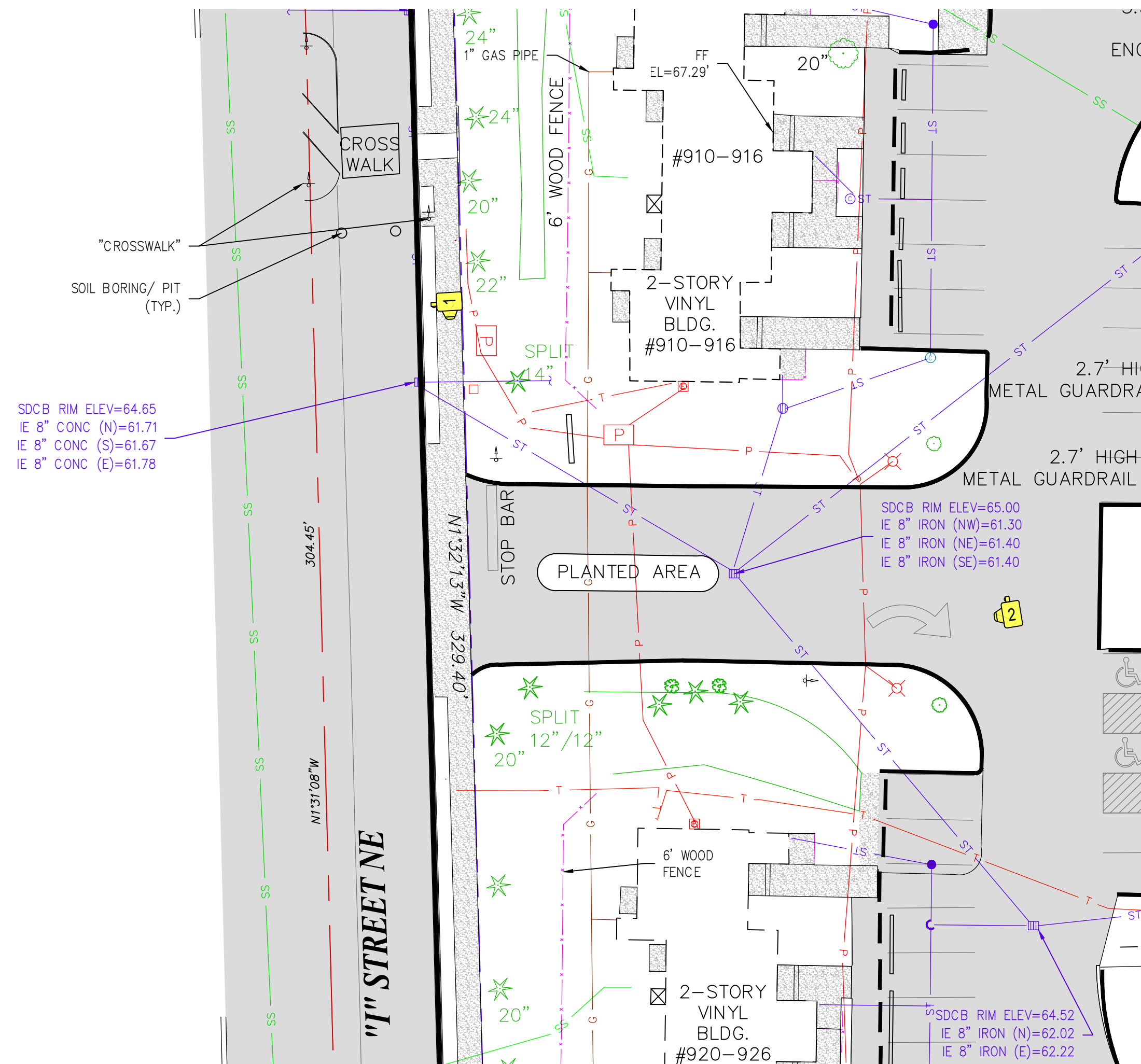
2"

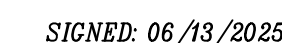
DRAWING IS FULL SCALE WHEN BAR MEASURES 2"

DWG NO.: G01

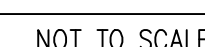
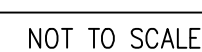
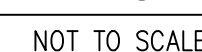
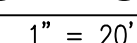
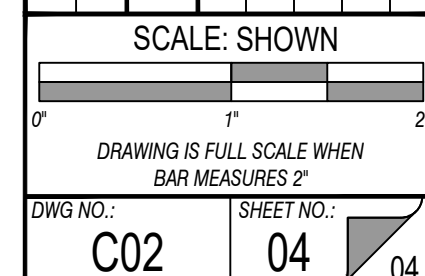
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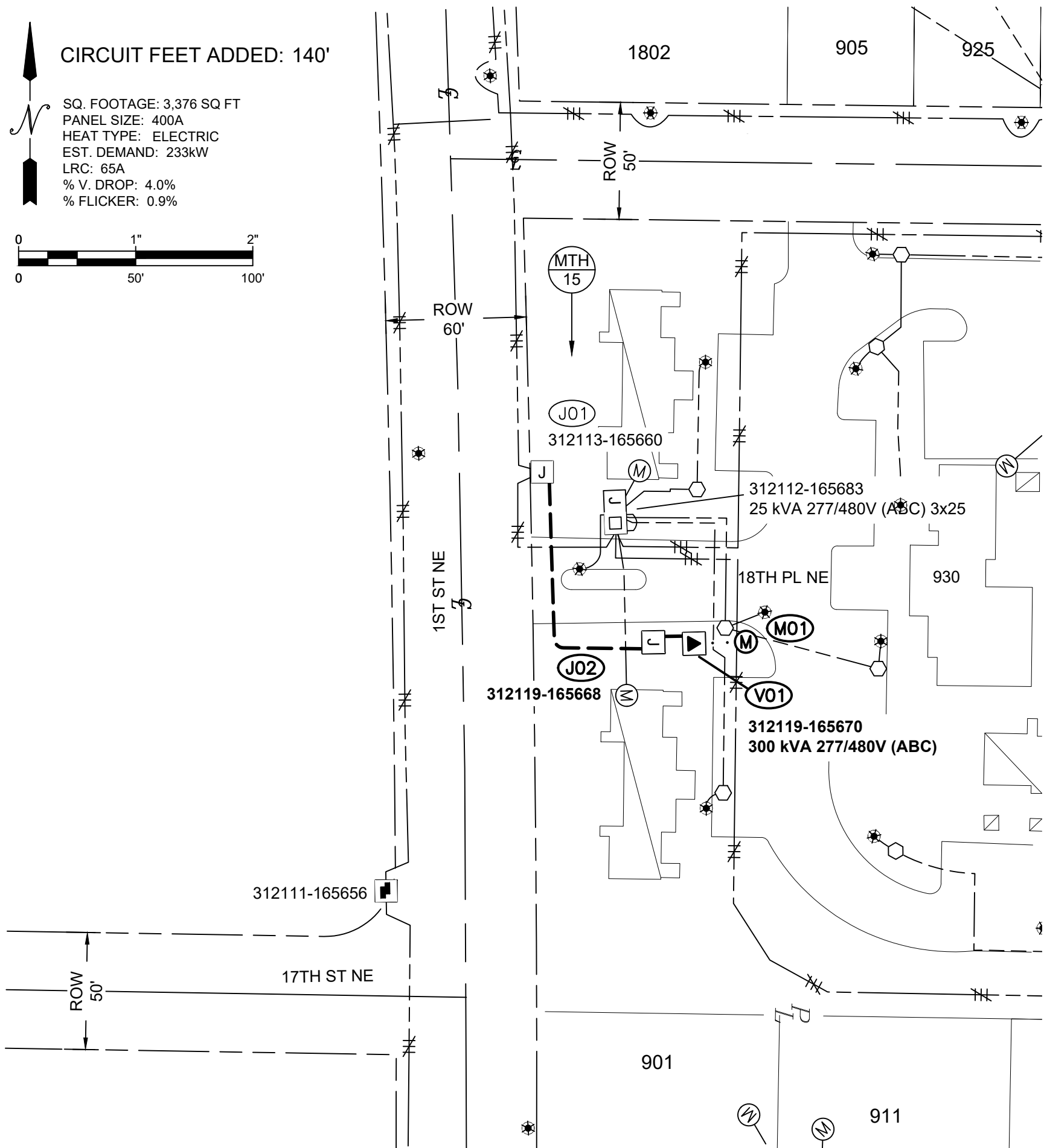
04





PROPOSED SITE & DETAILS





SITE PLAN
SCALE: 1" = 50"

DEDICATED FACILITIES FOR Dedicated Stub Location				
SITE #	SPAN		ADDITIONAL FOOTAGE	REMARKS
	FROM	TO		
J02	N/A		-	575 JBOX INST. FOR FUTURE USE
				LABOR UNITS
				2-45, 2-57, 2-60

BLDG.	# OF METERS	SOURCE	# OF RUNS	WIRE SIZE	REMARKS
930	1	V01	2	250KCMIL	-

ALL CUSTOMER-OWNED WIRE MUST BE INSTALLED ACCORDING TO THIS TABLE

Vault & Equipment Table

Site	Grid Number	Vault Size & Cover	Type & Size Equipment In Vault	Primary Bushings		Transformer ID Numbers (Company ID)	ASBUILT INFORMATION Foreman-Complete (include Transformer Phase Tapped and Test Secondary Voltage)
				LB	DC		
V01	312119 165670	42K48X38 Unistrut HH Matlid: 7663900	300KVA MP TRF 277/480 Matlid: 6259200	3	-		
J02	312119 165668	4'8"x7'x5" w/2-3" Sq Door Matlid: 7663200	3PH J-Box w/4 Pos J-Box Matlid: 7625900	6	3		

PRIMARY CABLE & CONDUIT TABLE

LOCATION		CONDUIT							CABLE							ASBUILT INFORMATION - FOREMAN COMPLETE						
FROM	TO	SIZE (IN)	QTY.	DESIGN LENGTH (FT)	BENDS				PULL (LBS)	PULL REV (LBS)	CABLE SIZE	DESIGN LENGTH (FT)	PHASE - ID TAG			RECORD			RECORD PHASE TAPPED & ACTUAL FOOTAGE INSTALLED			
					90°	45°	22°	11°					A	B	C	MANUFACTURER	COMPOUND	YEAR	NOTES	CONDUIT	CABLE	
J01	J02	4	1	120	1				-	-	3Ø 1/0AL JKT	140	EJX500	EJX501	EJX502				-			
J02	V01	4	1	20					-	-	3Ø 1/0AL JKT	35	EJX503	EJX504	EJX505							
4" PVC (FT) & BENDS =				140	1	0	0	0	3Ø 1/0 AL JKT TOTAL (FT) =				175									

SITE SPECIFIC NOTES

AT J01: 312113-165660 QSC2-57, 2-59*
-EXISTING VAULT TO REMAIN
-INSTALL (3) 12KV ELBOW KIT PER STD 6041.1000 (ELB10J)

AT J02: 312119-165668 QSC2-45, 2-55,2-57, 2-59, 2-60*
-INSTALL (1) HH 4'8" X 7" X 5' HH W/ GROUNDS PER STD 6055.1030 (JBOX15L)
-INSTALL (6) 12KV ELBOW KIT PER STD 6041.1000 (ELB10J)
-INSTALL (6) DUST CAPS (MID:7630600)
-INSTALL GRID #

AT V01: 312119-165670 QSC3-19B*
-INSTALL (1) HH 4'8" X 4'8" X 3'6" HH W/ GROUNDS PER STD 6045.5000 (PM3P15S)
-INSTALL (1) COVER HH 4'8" X 5'6" X 6" W/ 20" X 44" ACCESS (MID 7655200)
-INSTALL (1) 300KVA PADMOUNT TRF (MID: 6259200)
-INSTALL (3) 12KV ELBOW KIT PER STD 6041.1000 (ELB10J)
-INSTALL (4) #2 TO 500 KCMIL CONNECTOR LUGS (MID 7651002)
-INSTALL (12) MOUNTING BOLT KITS (MID 7651008)
-INSTALL GRID #
-CONNECT 2-RUNS OF CUSTOMER OWNED, INSTALLED, & MAINTAINED 250 KCMIL SVC

AT M01: NEW METER BASE
-PSE METER DEPT TO INSTALL 400A METER

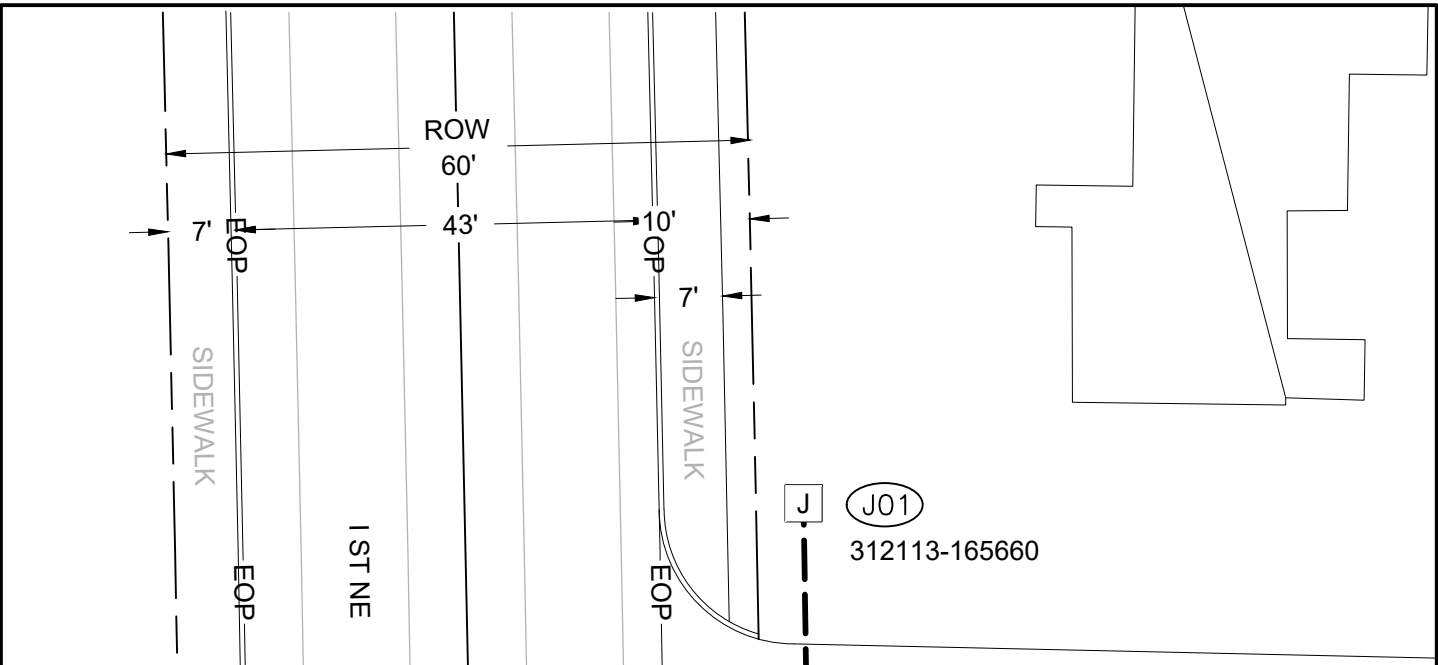
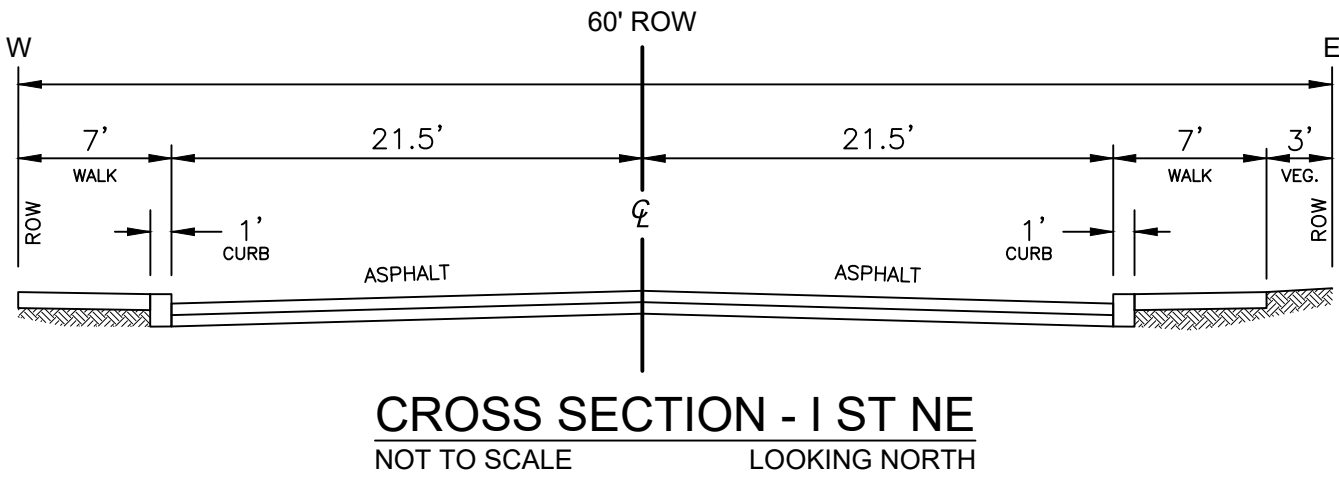
SPAN SPECIFIC NOTES

PLEASE SEE SITEPLAN, TABLES & ONE LINE DIAGRAMS FOR INSTALL

TRANSFORMER INSTALLATION (PM)	
Installed at site:	V01
Grid Number:	312119-165670
kVA Rating:	300kVA 277/480v
Material ID#:	6259200
Foreman to redline the following information	
Company ID#:	ABCØ
Primary phase connected to:	
Tested Secondary Voltage	/

FAULT CURRENT TABLE

3Ø PM TRANSFORMERS (480Y/277V)						
			277V WINDINGS		480V WINDINGS	
LOCATION	SIZE	R/X	MIN. %Z	FAULT CURRENT	MIN. %Z	FAULT CURRENT
V01	300kVA	0.3	-	-	2.10	17,200



PARTIAL PLAN DETAIL

SCALE: 1" = 20"

CUSTOMER DEVELOPMENT NOTES:

A PRE CONSTRUCTION MEETING IS REQUIRED WITH YOUR PROJECT MANAGER PRIOR TO STARTING ANY SITE WORK.
CUSTOMER IS RESPONSIBLE FOR ALL TRENCHING, SELECT BACKFILL, COMPACTION & RESTORATION PER **PUGET SOUND ENERGY STANDARDS & LOCAL MUNICIPALITY.**

****DEVELOPER NEEDS TO FOLLOW ALL TRENCH DETAILS ON SELECT BACKFILL****

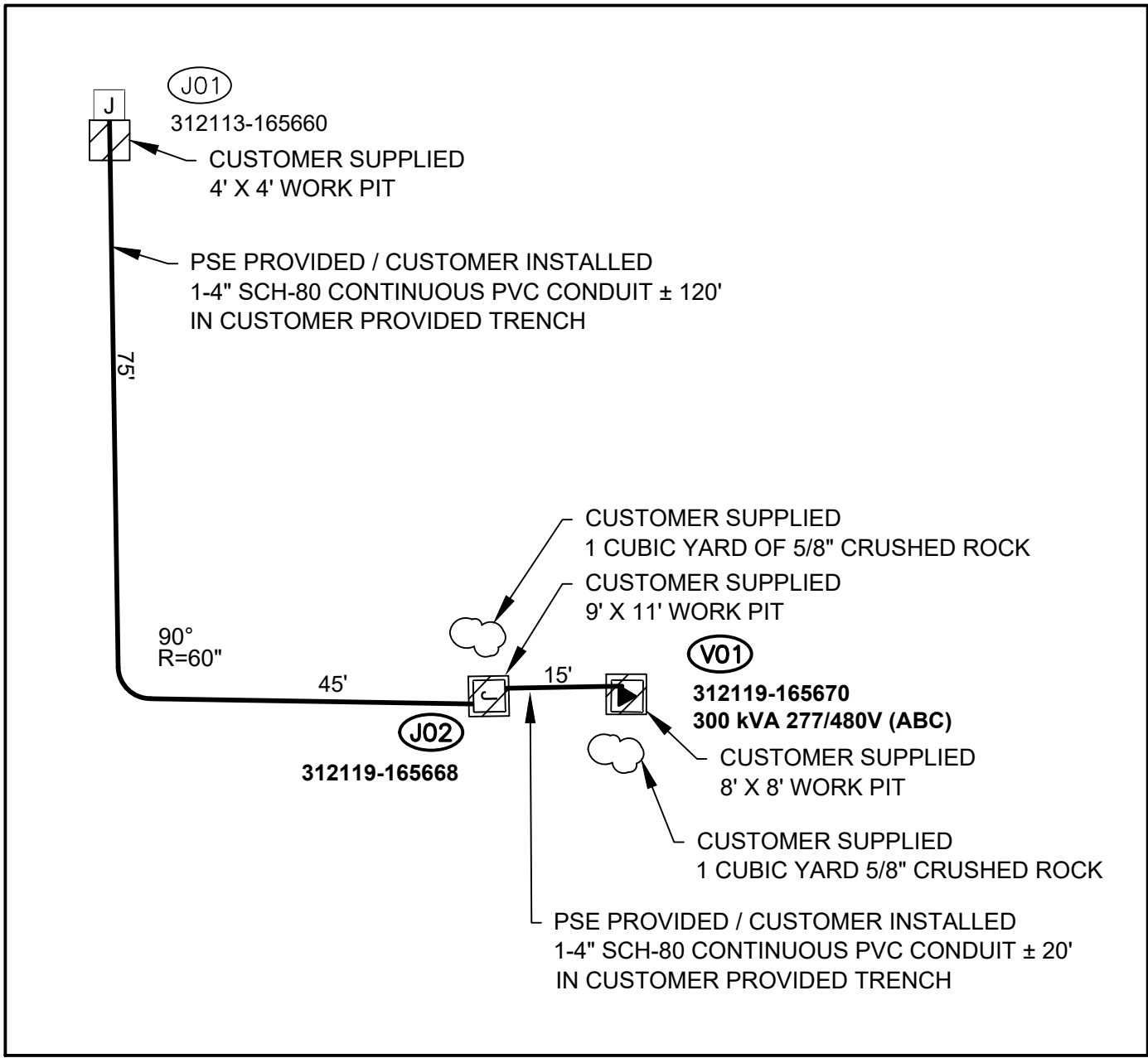
CUSTOMER IS RESPONSIBLE FOR THE FOLLOWING:

CROSSING/BORING.
-OPEN TRENCH OR BORING FOR CROSSINGS ARE ALLOWED PER LOCAL MUNICIPALITY PERMIT REQUIREMENTS.
-CROSSINGS IN RIGHT OF WAY MUST BE SCHEDULED WITH PROJECT MANAGER PRIOR TO CONSTRUCTION.
-PROJECT MANAGER OR DESIGNATED REPRESENTATIVE MUST BE ON SITE DURING CONSTRUCTION WORK IN RIGHT OF WAY.
-EXCAVATION CONTRACTOR MUST BE LICENSED AND BONDED TO PERFORM WORK IN RIGHT OF WAY.

VAULTS & WORK PITS.
-REQUIRED TO PROVIDE 4' X 4' WORK PIT AT J01
-REQUIRED TO PROVIDE 9' X 11' WORK PIT 1 CUBIC YARDS OF 5/8" CRUSHED ROCK AT J02
-REQUIRED TO PROVIDE 8' X 8' WORK PIT 1 CUBIC YARD OF 5/8" CRUSHED ROCK AT V01

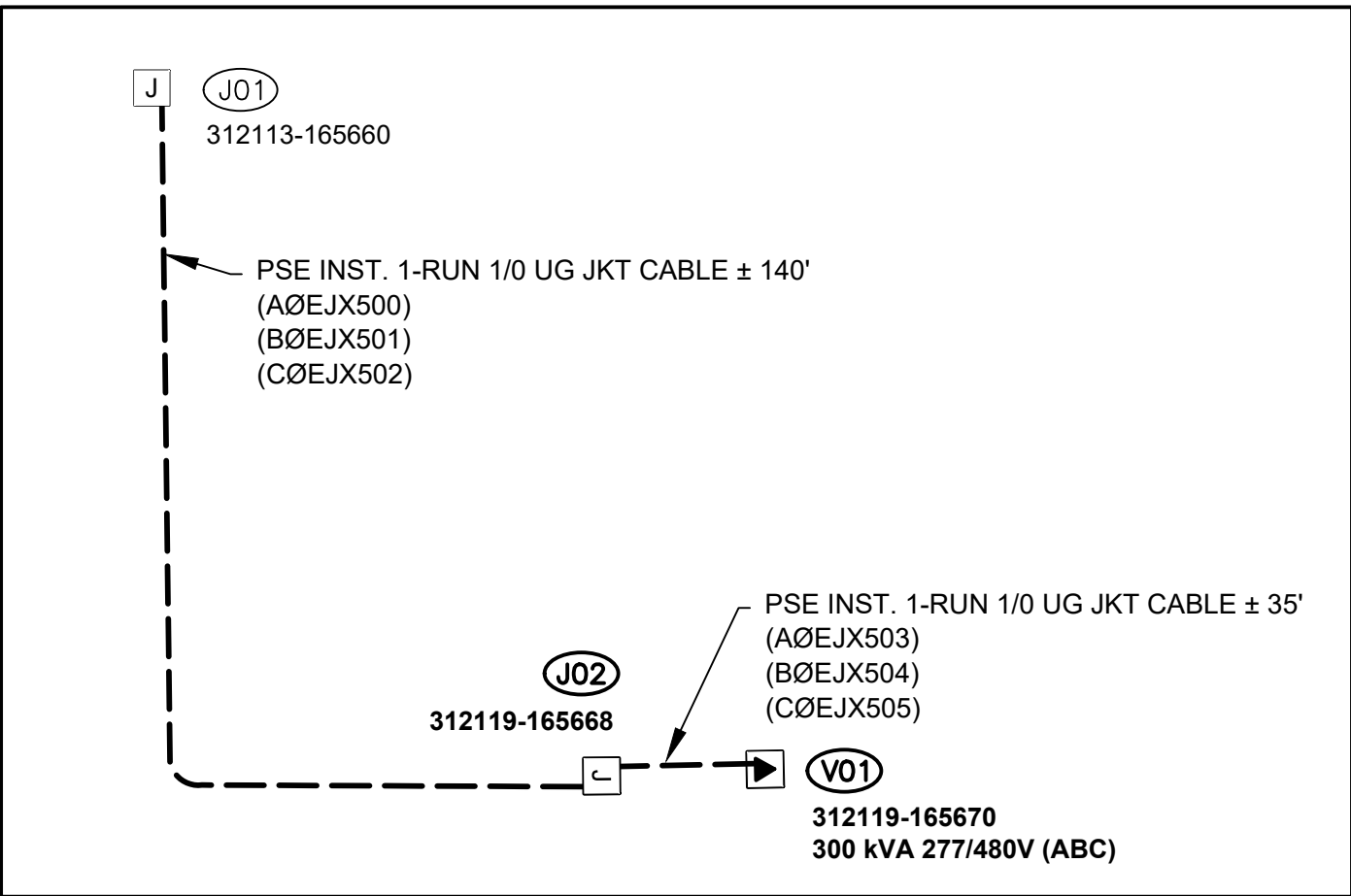
TRENCHING & CONDUIT.
-INSTALL ± 120' OF 1-4" SCH-80 CONDUIT FROM J01 TO J02
-INSTALL ± 20' OF 1-4" SCH-80 CONDUIT FROM J02 TO V01
-REQUIRED TO PROVIDE AND INSTALL A 3/8" NON-POLY PULL ROPE IN ALL OF THE CONDUITS.

JOB SITE READINESS.
-JOB SITE NEEDS TO BE 100% READY FOR INSPECTION 5 BUSINESS DAYS PRIOR TO CONSTRUCTION DATE.
-ALL WORK IN RIGHT OF WAY MUST BE COORDINATED WITH PROJECT MANAGER AND LOCAL MUNICIPALITY.
-ALL TRENCH, AND LOCAL ELECTRICAL MUNICIPALITIES AKA "L&I, CITY", INSPECTIONS MUST BE COMPLETED 5 BUSINESS DAYS PRIOR TO SCHEDULED CONSTRUCTION DATE.
-REQUIRED TO OPERATE AND PROVIDE EQUIPMENT TO PUMP OUT WATER FOR WORK PITS, VAULTS & TRENCH AT ALL TIMES.
-REQUIRED TO HAVE EXCAVATION EQUIPMENT AND BE ON SITE THE DAY OF CONSTRUCTION TO COMPLETE BACKFILLING.
-IF A SECOND INSPECTION IS REQUIRED, ADDITIONAL FEE'S WILL BE APPLIED.
-PLEASE REVIEW THE CITY OR KING COUNTY TRENCHING REQUIREMENTS UNDER THE PERMIT.
-IF A PRE-CON IS REQUIRED BY THE CITY, COUNTY OR W.S. DOT A PSE PROJECT MANAGER WILL SET-UP AND SCHEDULE A MEETING WITH THE MUNICIPALITY BEFORE ANY EXCAVATION OR INSTALLATION BEGINS .



NEW CONDUIT DIAGRAM

NOT TO SCALE



NEW CABLE DIAGRAM

NOT TO SCALE

POWER GENERAL NOTES - COMMERCIAL PROJECT

- All materials to be installed in accordance with Puget Sound Energy's (PSE) standards. Any deviation from this work sketch must be AUTHORIZED by PSE's Project Manager and NOTED on the Foreman's Copy.
- All switching arrangements and/or outage arrangements are to be made with the Project Manager at least three (3) working days in advance.
- Contact the Utilities Underground Location Center (1-800-424-5555) at least 48 hours prior to commencing work to get the underground facilities located.
- STAKING: The customer will provide all staking (transformer, handhole, trench, grade, lot, pole, sidewalk, etc.). See sketch and details for locations. Equipment locations must be approved by the Project Manager.
- SITE PREPARATION: The work area will be at or near finished grade, clear of trench spoils or construction materials which would restrict construction and/or equipment access, before work can begin.
- Roads shall be paved or have a compacted , crushed rock base in place.
- CLEARANCES: Transformers require a minimum of 6 feet from fire fighting equipment, 10 feet from combustible walls, overhangs, doors, and windows, and a minimum of 5 feet from the back of curb (or guard posts will be required per PSE standards). All conduits and vaults are to be at least 5 feet away from water, storm and sewer lines when paralleling them in the right of way, and at least 1 foot when crossing them, **or as required by your local municipality.**
- All work is to be done in accordance with local municipal and county permit requirements as applicable.
- Customer/Developer is responsible to provide, install and maintain all secondary service cables, conduits and crossings from the individual unit's meter base to the designated connection point **on private property.**
- Inclement weather conditions may cause delays in construction times and dates.
- EXCAVATION: The customer is to provide all trenching, backfill, vault excavations, compaction and restoration per this sketch and per PSE standards. A minimum protective cover of 36" is required over PSE's primary voltage equipment and 24" is required of PSE's secondary voltage equipment. The customer will provide any and all shoring or they will side slope the trench to 1:1.

CIRCUIT LOADING TABLE

CIRCUIT: MTH-15			
AS OF 06/2024	A PHASE	B PHASE	C PHASE
EXIST. PEAK LOAD	300.00	314.00	304.00
EST. NEW LOAD	13.48	13.48	13.48
TOTAL	313.48	327.48	317.48

EROSION & SEDIMENT CONTROL REQUIREMENTS

EROSION & SEDIMENT CONTROL SHALL BE PER PSE STANDARD PRACTICE 0150.3200 TECHNIQUES FOR TEMPORARY EROSION & SEDIMENT CONTROL & ANY ADDITIONAL LOCAL JURISDICTION REQUIREMENTS. (LOCAL JURISDICTIONS MAY HAVE ADDITIONAL REQUIREMENTS INCLUDING NOTES DETAILING WHERE EROSION OR SEDIMENT CONTROL STRUCTURES ARE TO BE INSTALLED, CROSS SECTION DETAILS OF THE TYPICAL EROSION STRUCTURES, & SPECIAL REQUIREMENTS FOR WORK IN SENSITIVE AREAS.)

FOREMAN (CHECK BOX WHEN COMPLETED)

☐ PSE Equipment LOCKED/SECURED & Work Area left in CLEAN/SAFE Condition.
☐ Grid, Cable, and Switch numbers INSTALLED & VERIFIED.
☐ Field Changes RED-LINED on As-built.
☐ Material VERIFIED and CHANGES noted on Paperwork.
☐ Total PRIMARY Cable noted on As-built.
☐ Company ID#s RECORDED in correct location on As-built.
☐ Indicate correct FUSE SIZE on As-built & VERIFY proper PHASE.
☐ Deviations noted on the As-built and their reason.

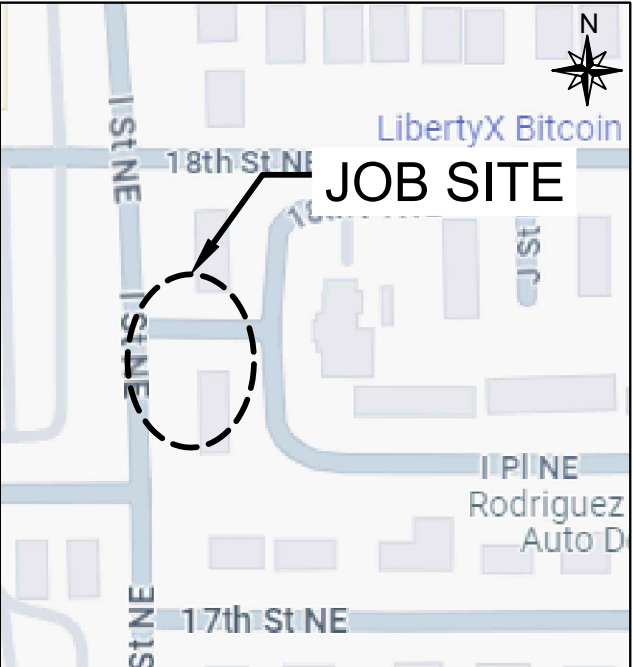
☐ I certify that the work performed meets PSE's standards and procedures and that all quality requirements are met.

Foreman's Signature _____
Print Name _____ Date _____

PROJECT PHASE	NOTIF#	ORDER#
PWR	Superior 514076428	105106626
	Perm Service 516193125	104368860
	400a Meter Set 516193126	3003035798
GAS		
CABLE TV		
PHONE		

Project Manager Contact Information:
Manager: JAMES MAULDIN
Cell Phone: 206-940-9557
E-Mail: JAMES.MAULDIN@PSE.COM

Vicinity Map
47.32381, -122.21826



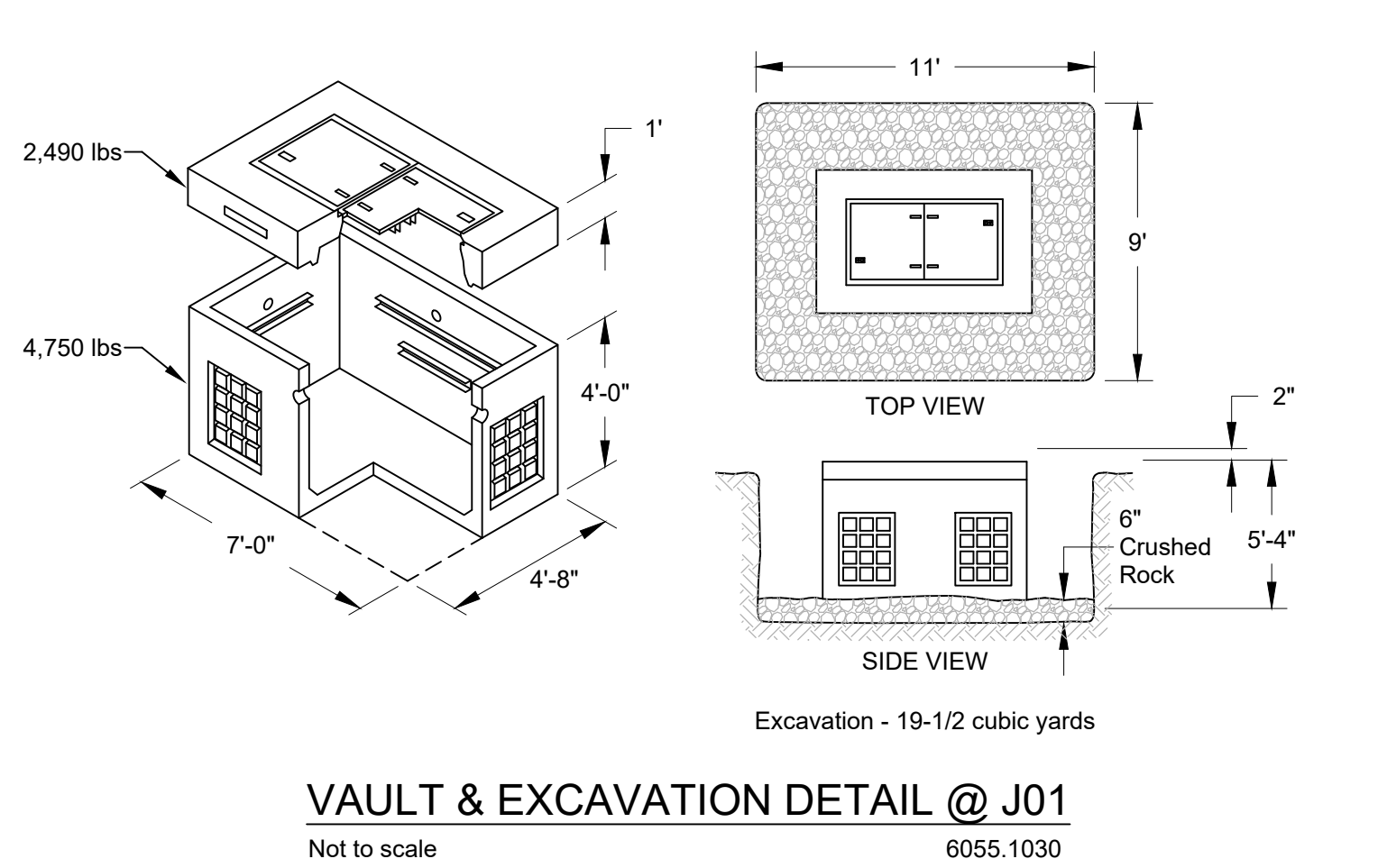
Owner / Developer Contact Info

KING COUNTY HOUSING AUTHORITY
700 ANDOVER PARK WEST
TUKWILA, WA 98188
ATTN: MICHAEL CUADRA 206-719-1072 office

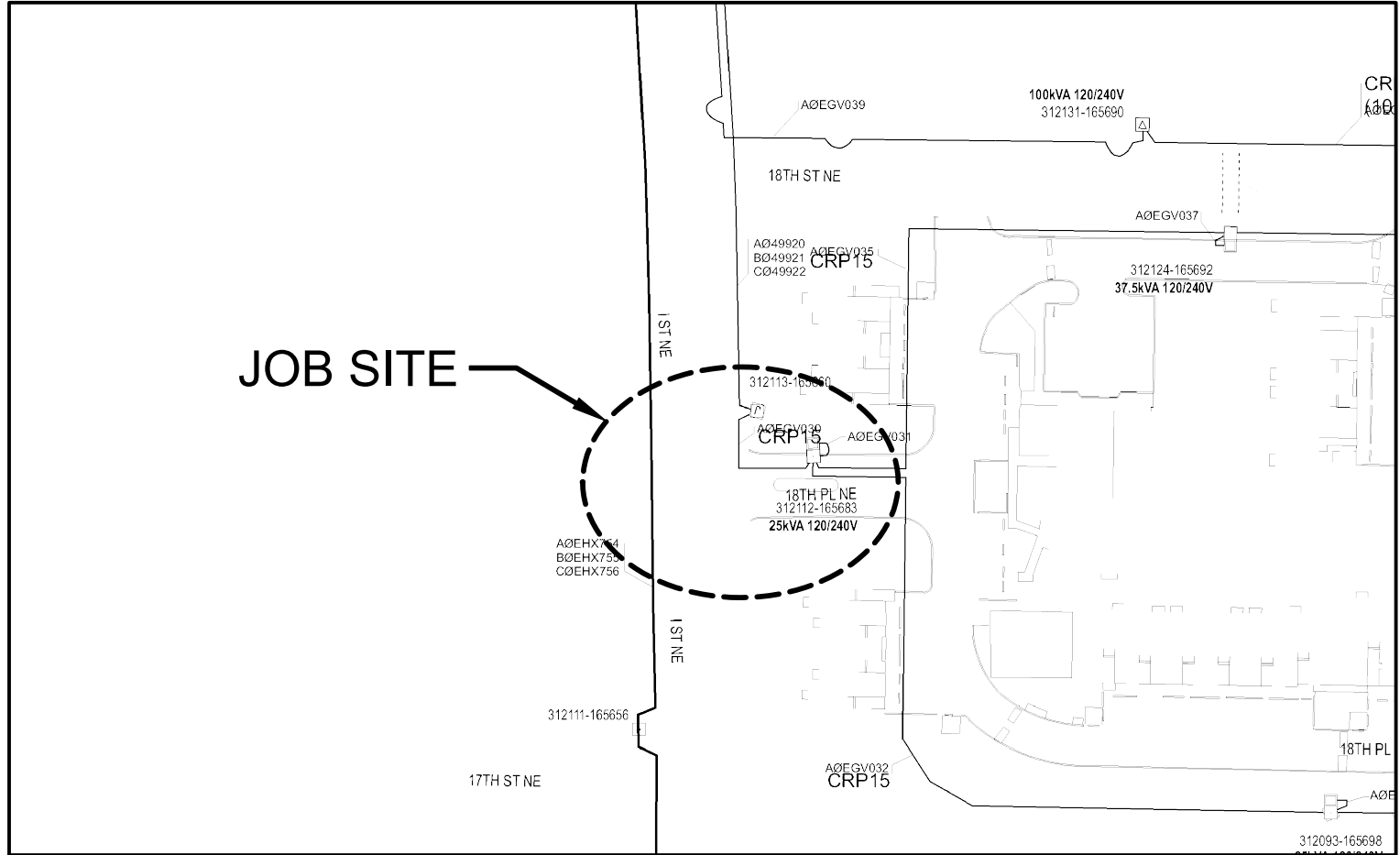
For contacts below dial 1-888-CALL PSE (225-5773)

CALL 811 TWO BUSINESS DAYS BEFORE YOU DIG

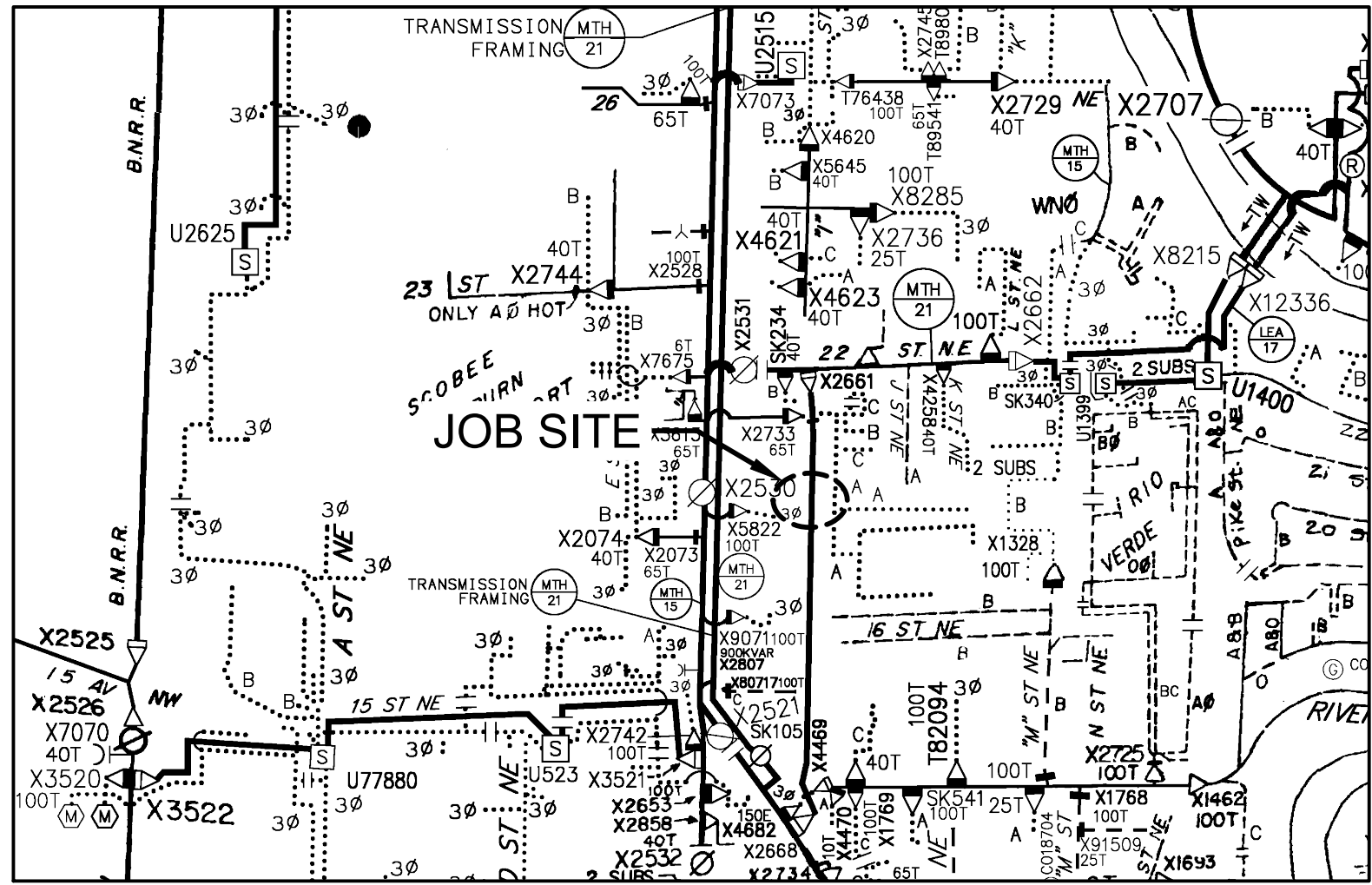
Locates Required *Outages Required* *Flagging Required*				THIS SKETCH NOT TO BE RELIED UPON FOR EXACT LOCATION OF EXISTING FACILITIES			
REAL ESTATE/EASEMENT				PERMIT			
RW-138052				AUBURN			
3	2	1	0	FUNCTION	CONTACT	PHONE NO	DATE
N/A	N/A	N/A	N/A	PROJECT MGR	J. MAULDIN	206-940-9557	11/13/24
N/A	N/A	N/A	N/A	ENGR - POWER	A.PERNELL	253-289-8568	3/18/25
REV#	DATE	BY	DESCRIPTION	DRAWN BY	E. SCHOTT	714-893-2405	11/13/24
KING	Emer Sect	Gas Wk Ctr	POWER WK CTR	CHECKED BY			
1/4 SEC	OP MAP	PLAT MAP	CSPSKEPM	APPROVED BY	Fabian Gomez	4129125	
NE 7-21N-05E	N/A	N/A	N/A	FOREMAN #1			
U-MAP NO (POWER)	OH CKT MAP	UG CKT MAP	CIRCUIT NO	FOREMAN #2			
2105E025	2105E032	2105E025	MTH-15	MAPPING			
JOINT FACILITIES ARRANGEMENTS							
UTILITIES	N/A	N/A	N/A	N/A	N/A	N/A	N/A
CONTACT	N/A	N/A	N/A	N/A	N/A	N/A	N/A
PHONE#	N/A	N/A	N/A	N/A	N/A	N/A	N/A
PSE				KCH BURNDALD			INCIDENT N/A
PUGET SOUND ENERGY				PRI I/E, NEW J-BOX, NEW PM XFMR (400A SVC)			MAOP N/A
ASPLUNDH CONSTRUCTION CORP. - QAOQC T. MYER				930 18TH PL NE, AUBURN, WA 98002			Gas Order N/A
							Elect Order 105106626
							SCALE
							PAGE 1 OF 2



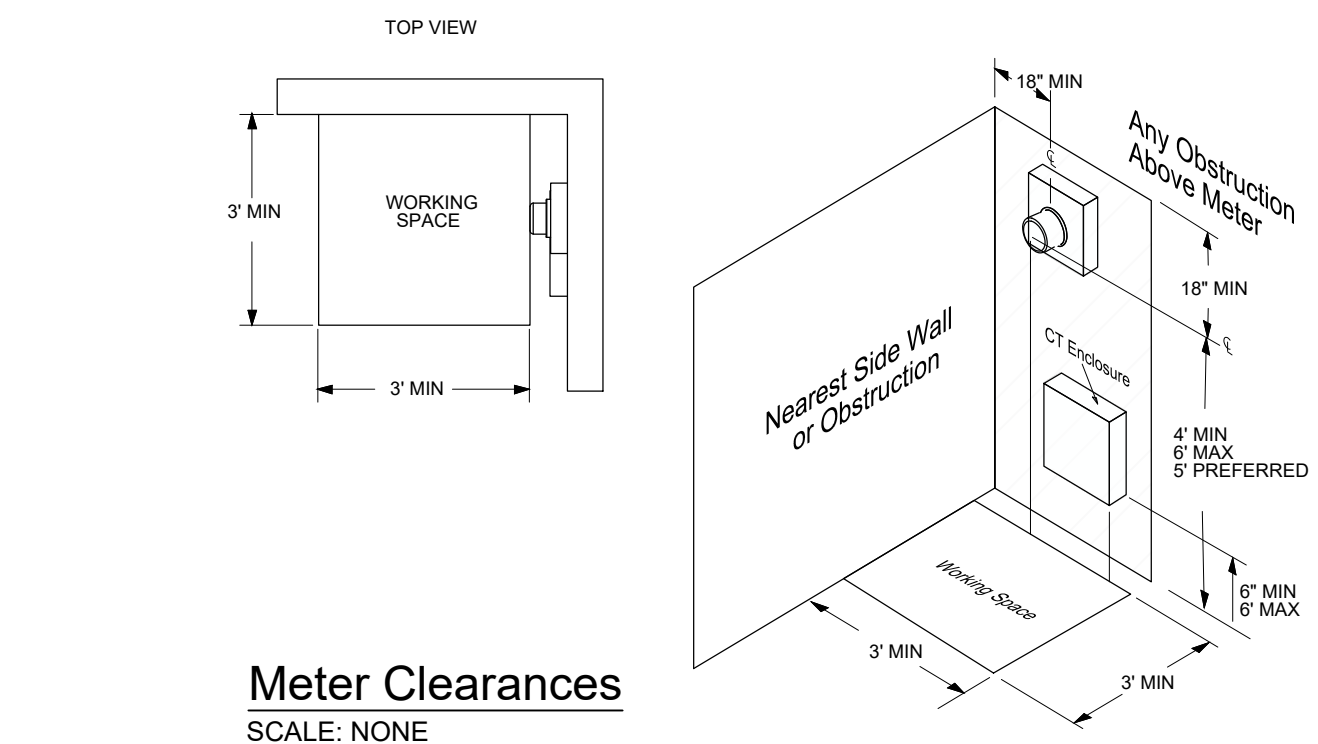
VAULT & EXCAVATION DETAIL @ J01
Not to scale 6055.1030



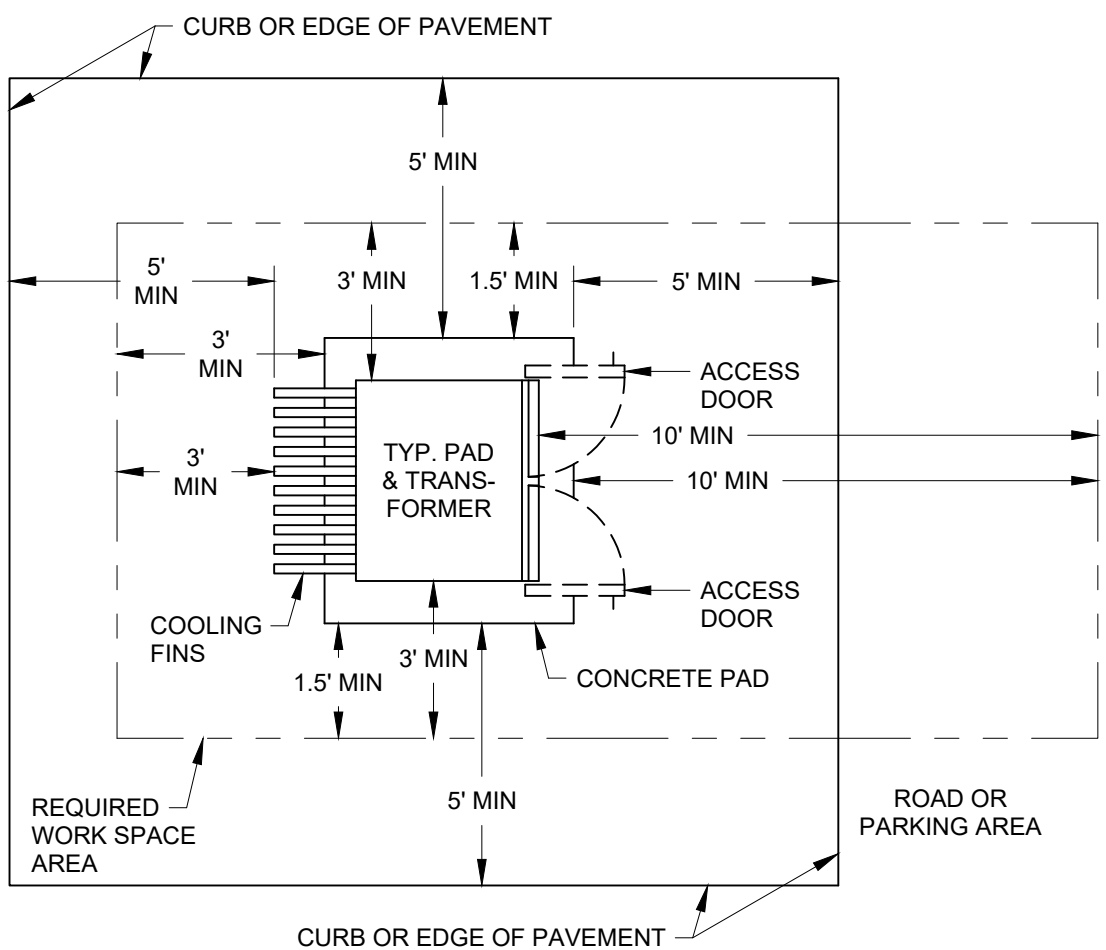
UNDERGROUND CIRCUIT MAP 2105E025
SCALE: 6" = 1 MILE



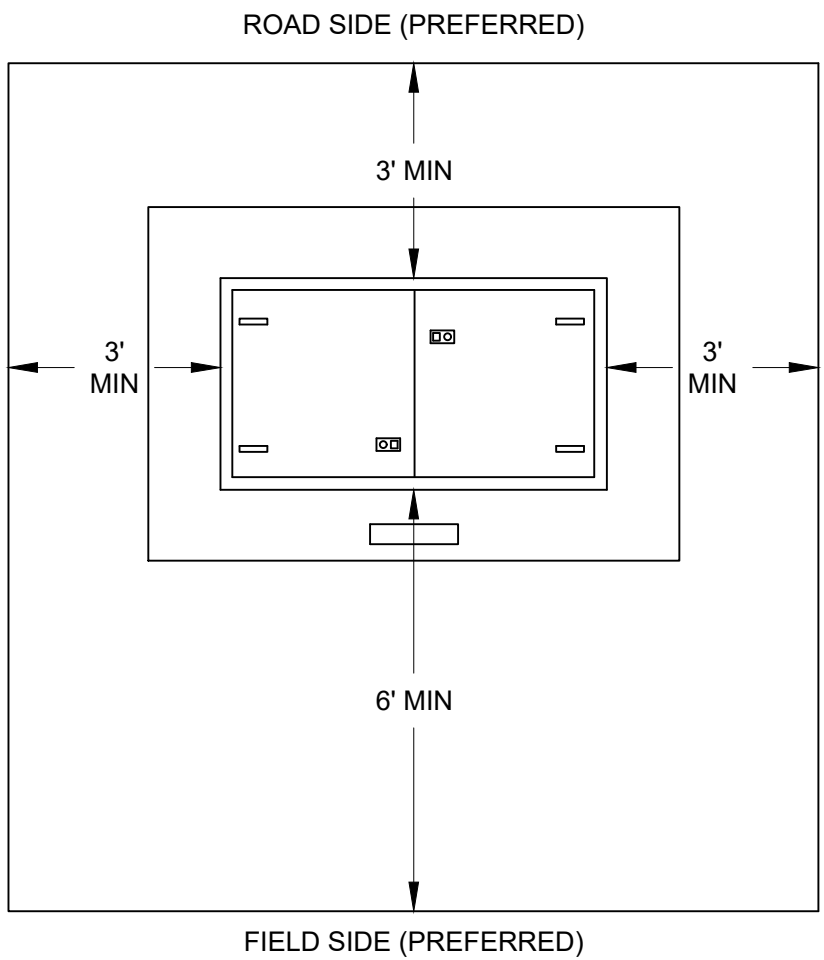
OVERHEAD CIRCUIT MAP 2105E032
SCALE: 6" = 1 MILE



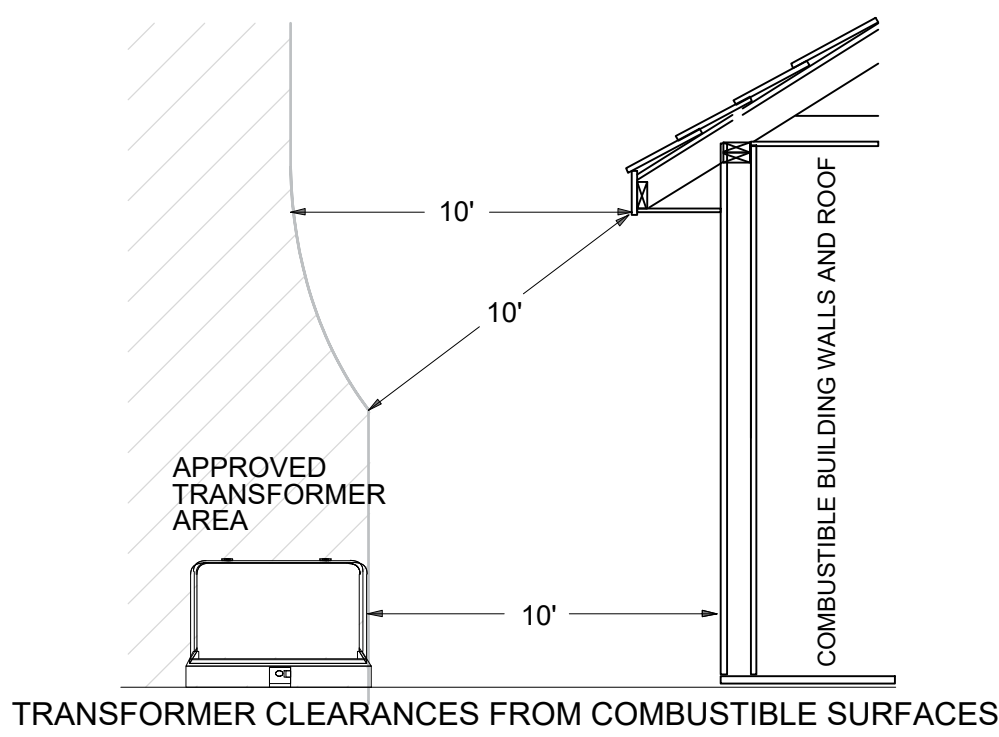
Meter Clearances
SCALE: NONE



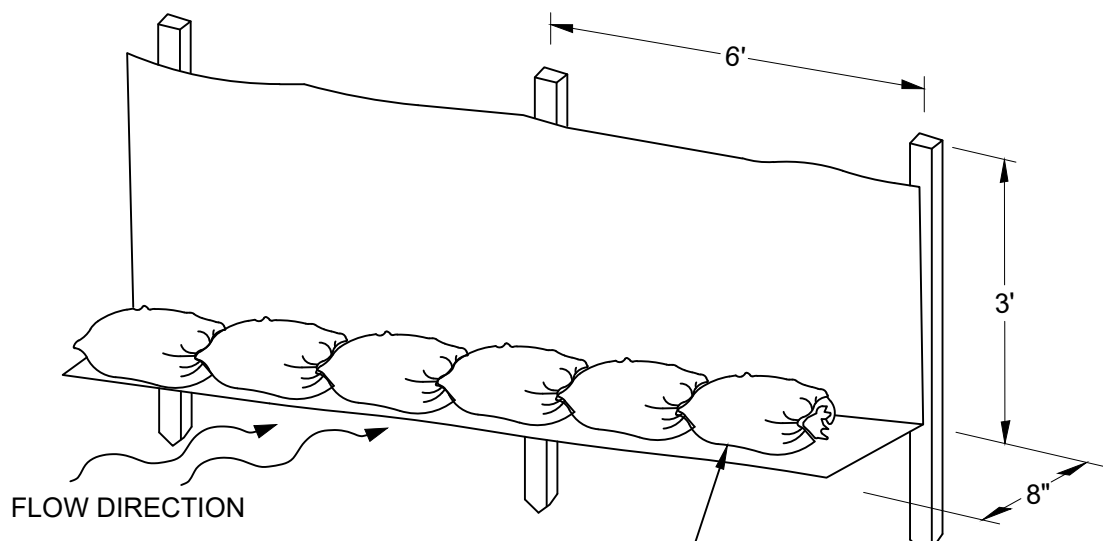
MINIMUM CLEARANCES FOR PADMOUNT TRANSFORMER AND VAULT
Not to scale



CLEAR WORKING SPACE FOR J-BOX
NOT TO SCALE



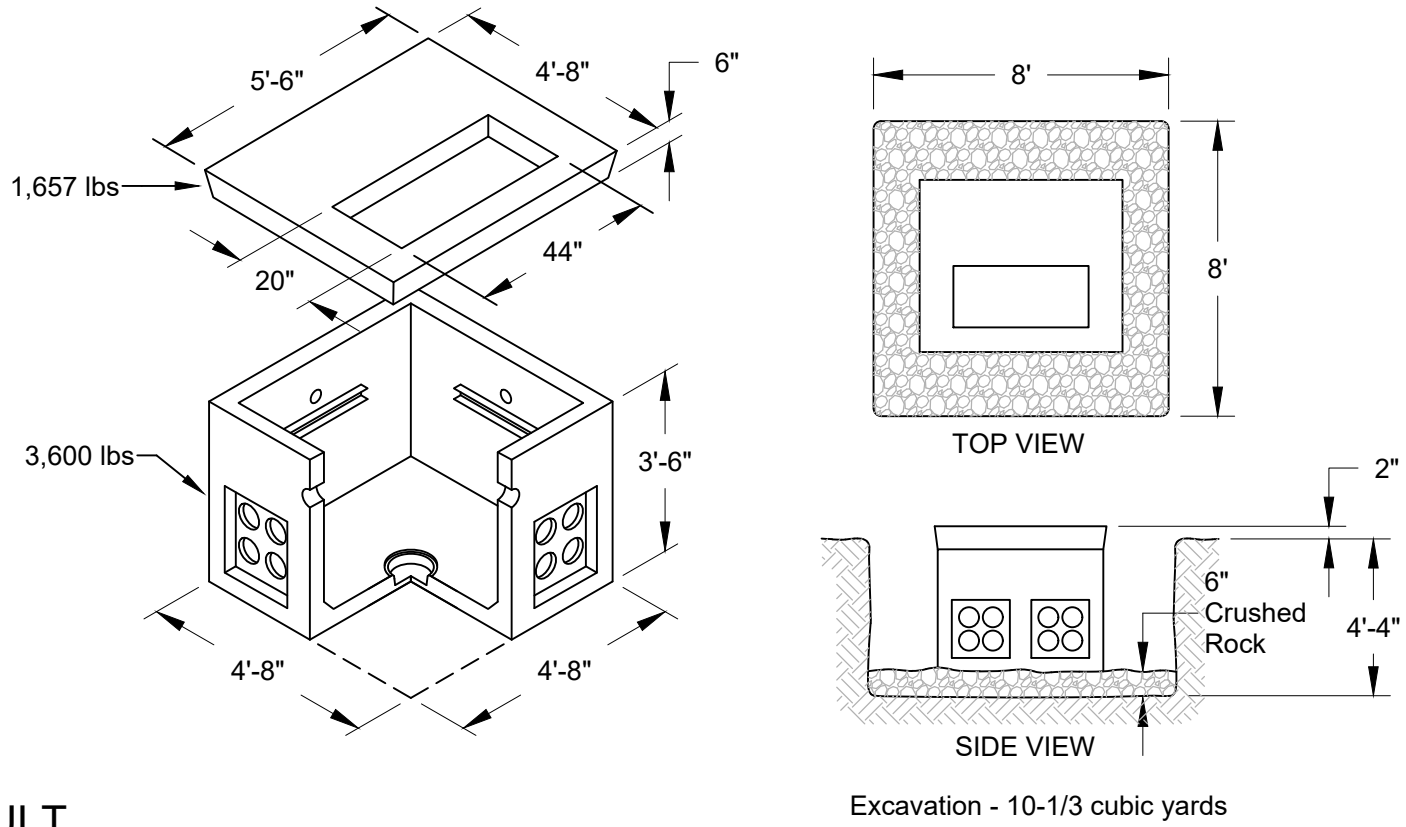
TRANSFORMER CLEARANCES FROM COMBUSTIBLE SURFACES



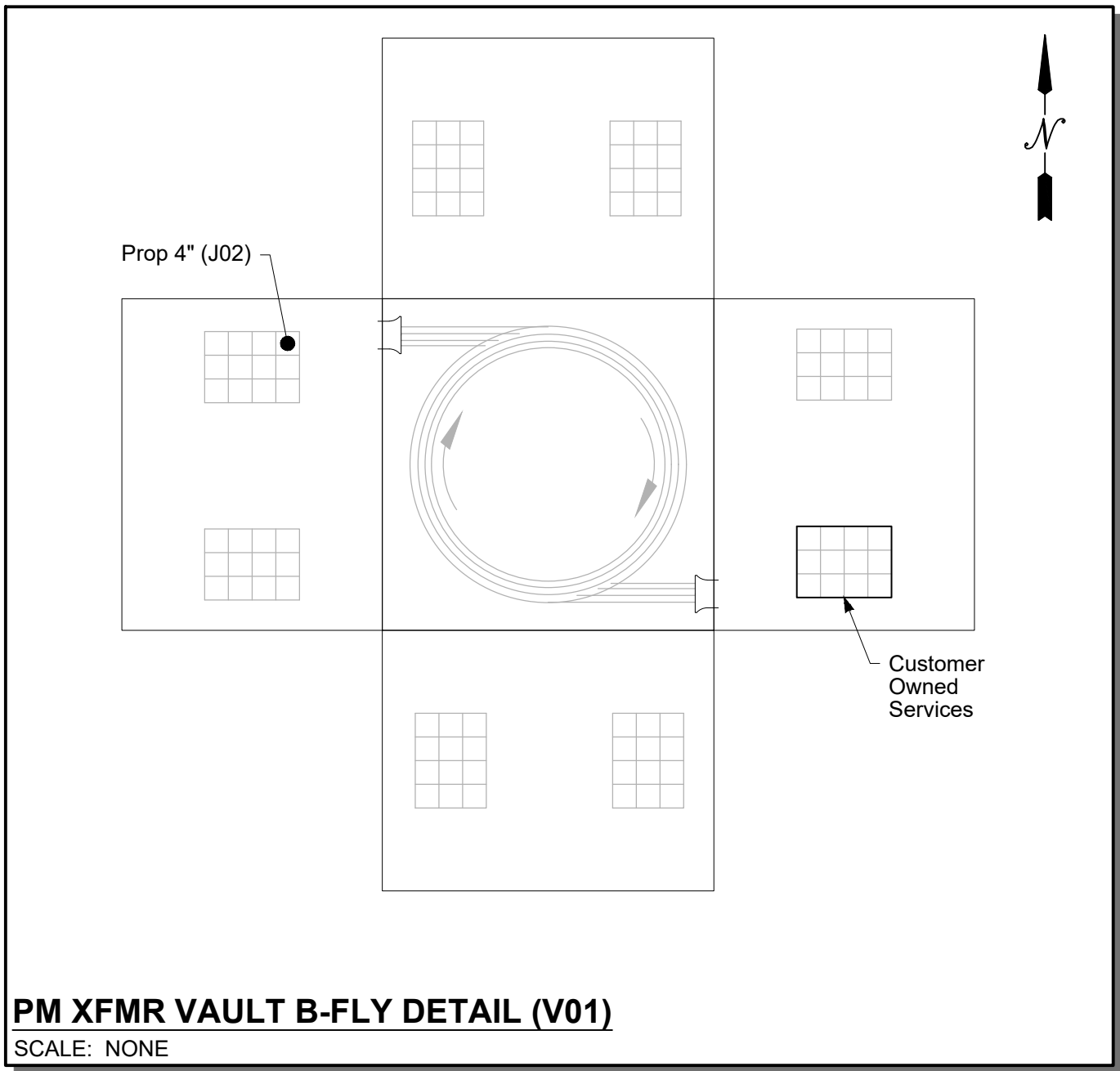
LAY 8" BOTTOM SKIRT ON TOP OF NATIVE SOIL, SECURE WITH PEA GRAVEL BAGS.

TECHNIQUES FOR EROSION AND SEDIMENT CONTROL

SILT FENCE DETAIL
Not to Scale 0150.3200

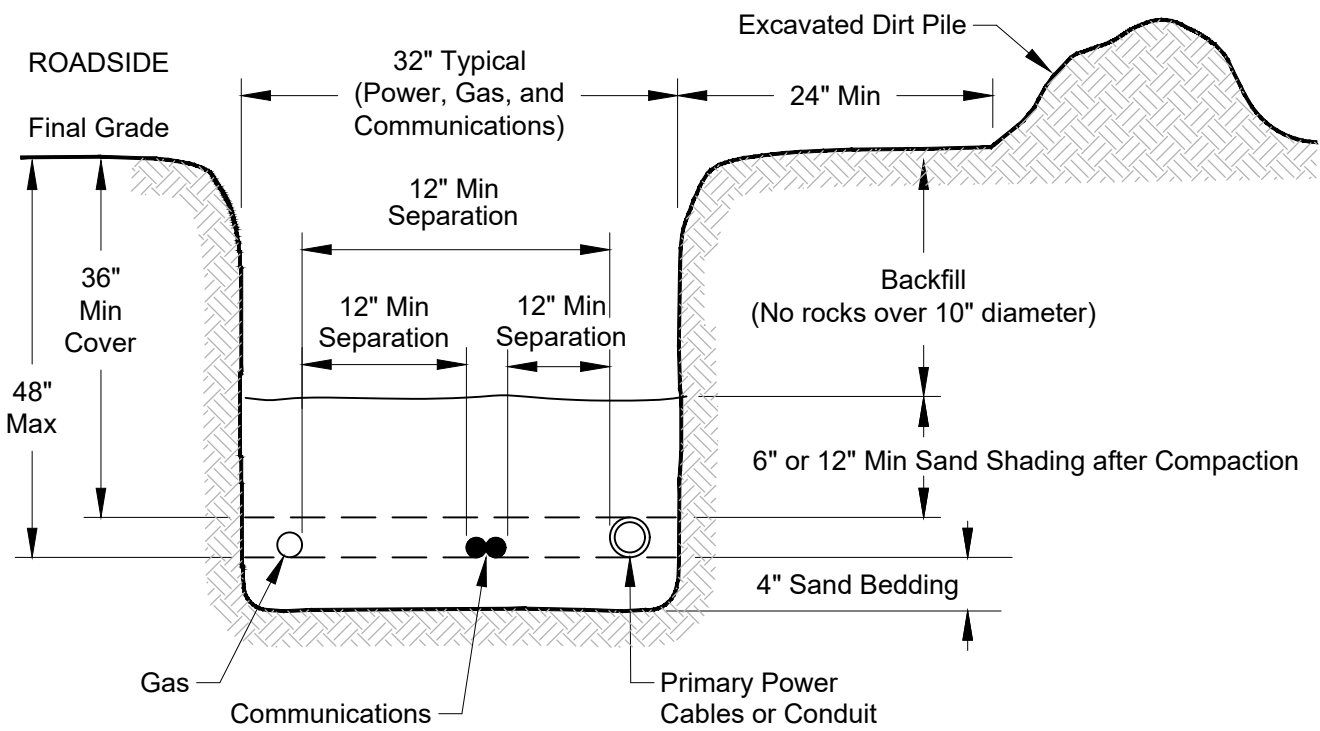


VAULT & EXCAVATION DETAIL @ V01
Not to scale 6045.5000-1

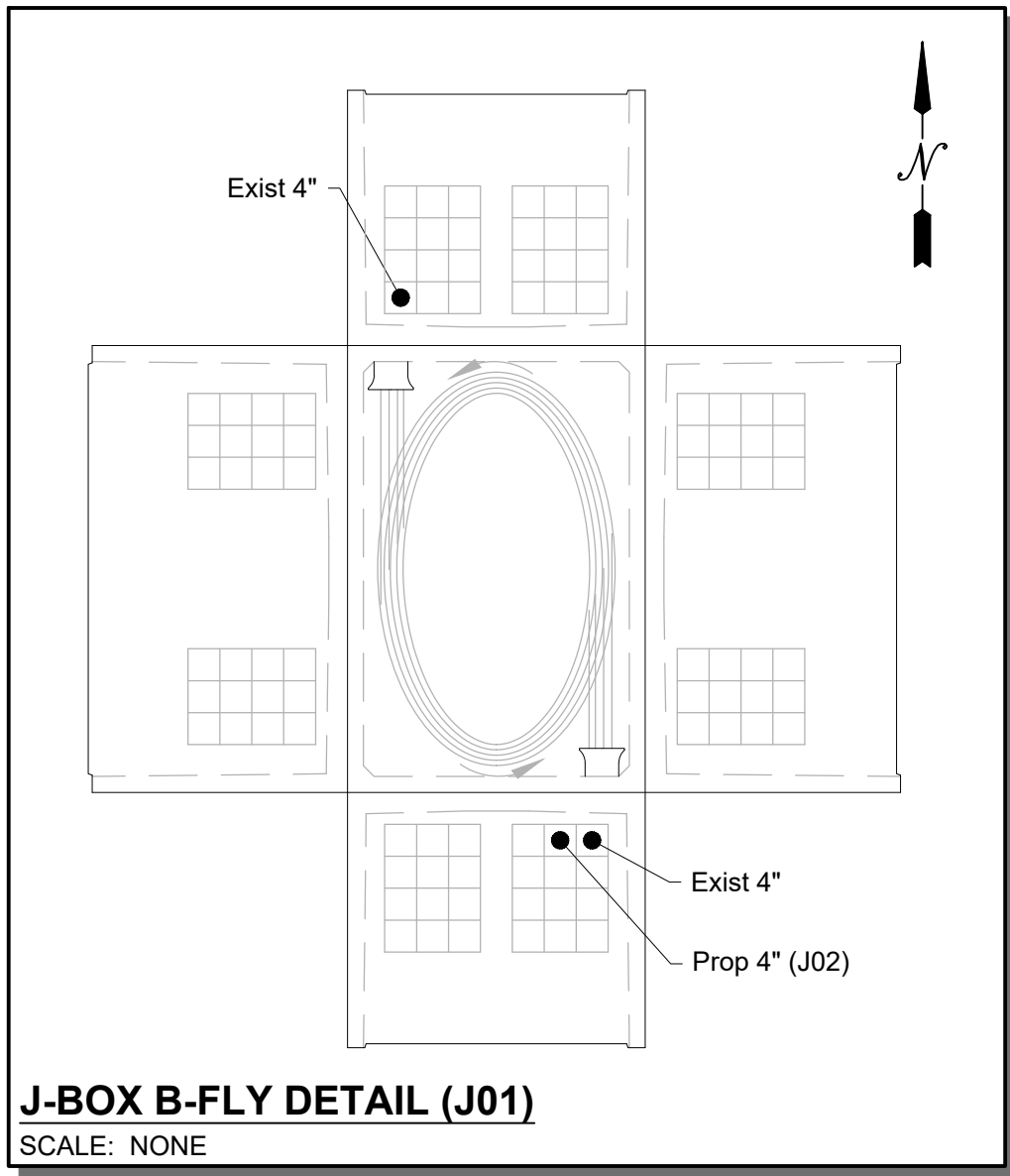


PM XFMR VAULT B-FLY DETAIL (V01)
SCALE: NONE

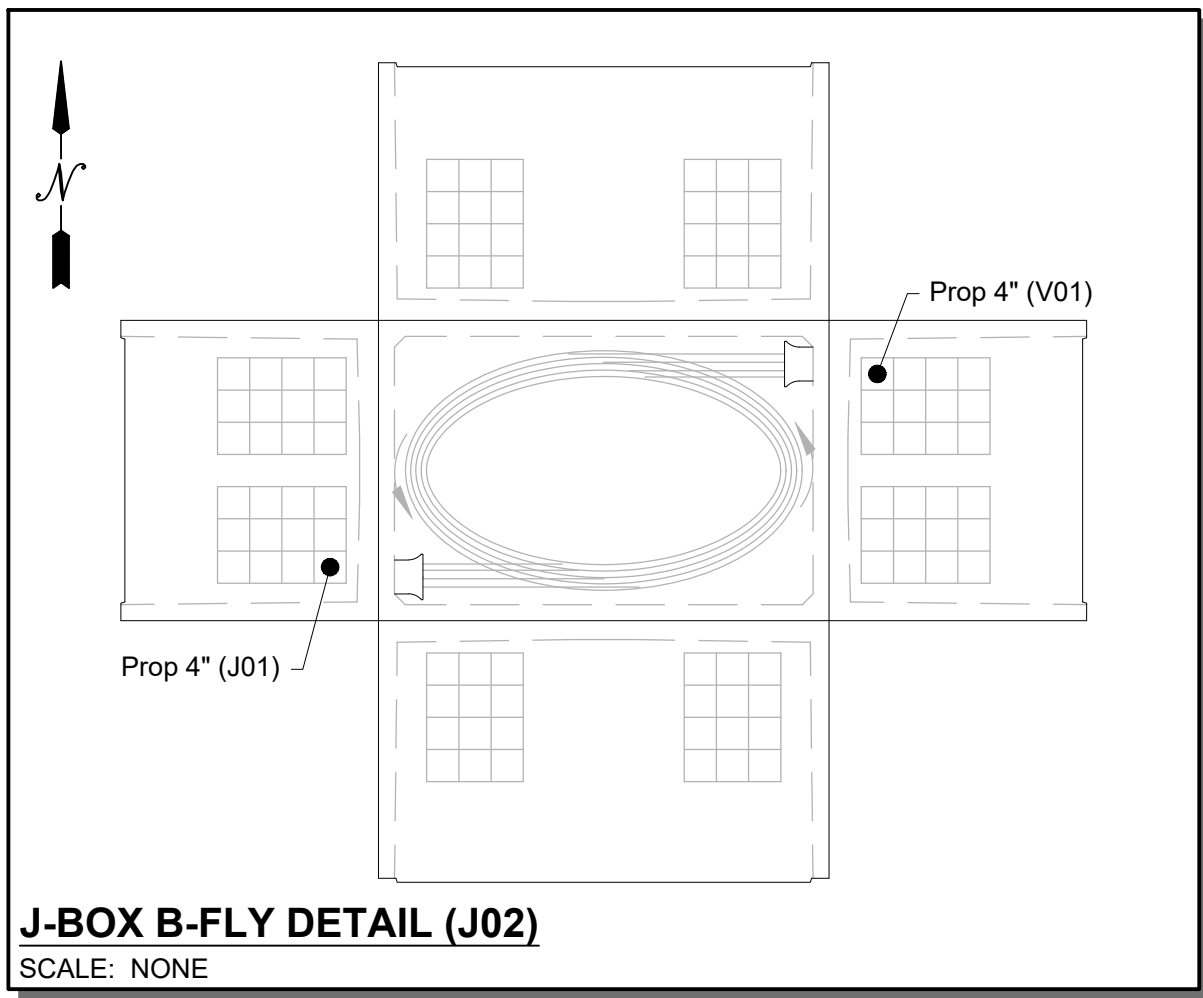
Trench and backfill requirements for primary electric line extension trenches (No PSE gas)
- A 12" layer of sand is required when excavated native material contains rocks up to 10" in diameter.
- A 6" layer of sand is allowed when excavated native material contains rocks no larger than 8" in diameter.



JOINT TRENCH DETAIL
Primary-Mainline Gas & Communications (NTS)



J-BOX B-FLY DETAIL (J01)
SCALE: NONE



J-BOX B-FLY DETAIL (J02)
SCALE: NONE

For contacts below dial 1-888-CALL PSE (225-5773)				
CALL 811 TWO BUSINESS DAYS BEFORE YOU DIG				
THIS SKETCH NOT TO BE RELIED UPON FOR EXACT LOCATION OF EXISTING FACILITIES				
REAL ESTATE/EASEMENT		PERMIT		
RW-138052		AUBURN		
3	N/A	N/A	N/A	FUNCTION
2	N/A	N/A	N/A	CONTACT
1	N/A	N/A	N/A	PHONE NO
DATE	BY	DESCRIPTION	DATE	DATE
REV#	DATE	BY	DESCRIPTION	DATE
COUNTY	Emer Sect	Gas Wk Ctr	POWER WK CTR	DRAWN BY
KING	N/A	N/A	CSPSKEPM	CHECKED BY
1/4 SEC	OP MAP	PLAT MAP	N/A	APPROVED BY
NE 7-21N-05E	N/A	N/A	N/A	FOREMAN #1
U-MAP NO (POWER)	OH CKT MAP	UG CKT MAP	CIRCUIT NO	FOREMAN #2
2105E025	2105E032	2105E025	MTH-15	MAPPING
JOINT FACILITIES ARRANGEMENTS				
UTILITIES	N/A	N/A	N/A	N/A
CONTACT	N/A	N/A	N/A	N/A
PHONE#	N/A	N/A	N/A	N/A
PSE		PUGET SOUND ENERGY		INCIDENT
KCH BURNDAL		PRI L/E, NEW J-BOX, NEW PM XFMR (400A SVC)		N/A
930 18TH PL NE, AUBURN, WA 98002		MAOP		N/A
SCALE		AS NOTED		PAGE
2 OF 2		2 OF 2		2 OF 2